

MARK MORRIS H.S. LOCKER ROOM REMODEL

PROJECT TEAM

OWNER

LONGVIEW SCHOOL DISTRICT
2080 38TH AVENUE
LONGVIEW, WA 98632
PHONE: 360-442-1841
CONTACT: JASON REETZ
E-MAIL: jreetz@longview.k12.wa.us

ARCHITECT

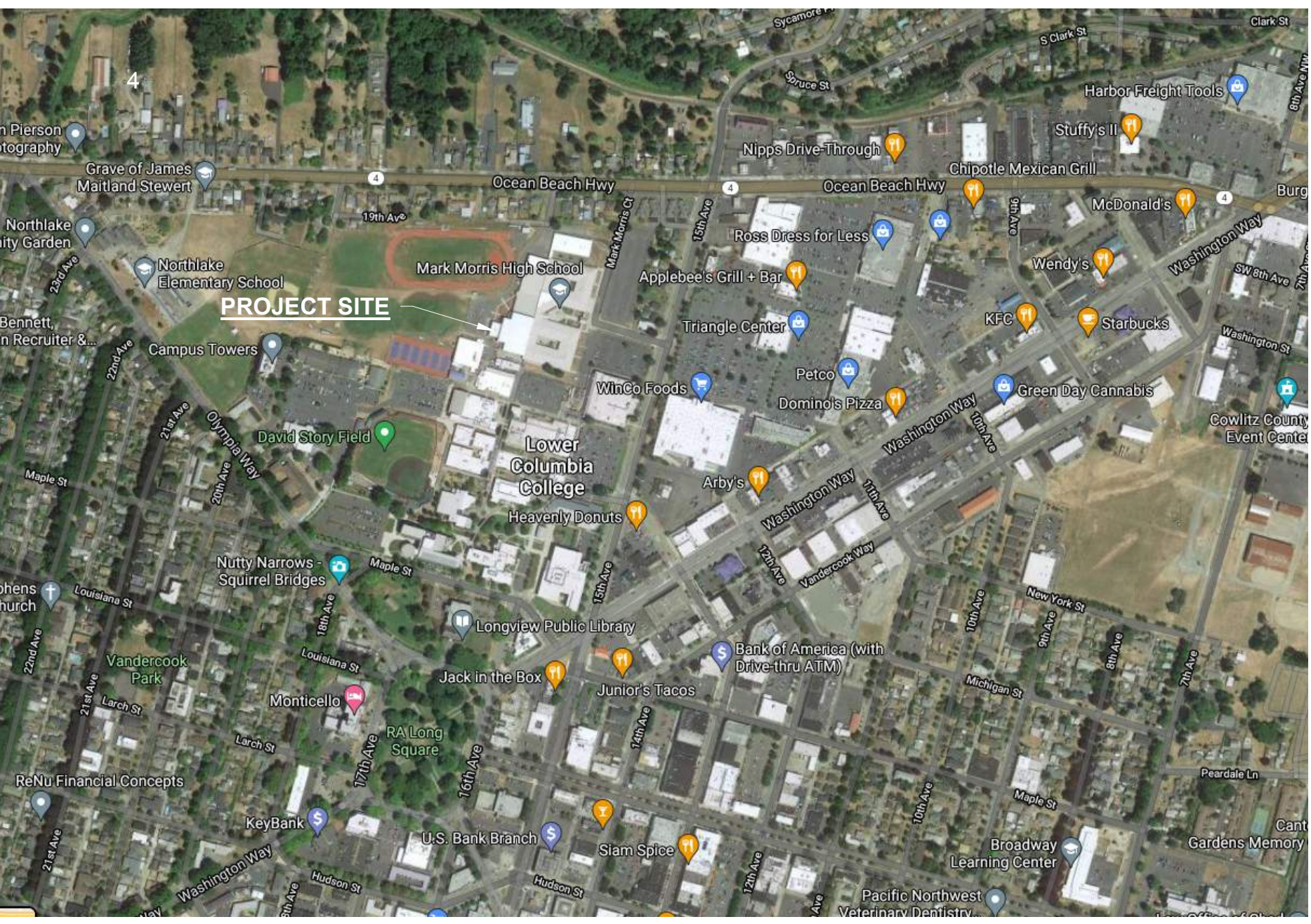
COLLINS ARCHITECTURAL GROUP PS
950 12th AVE SUITE 200
LONGVIEW WA 98632
PHONE: (360) 425-0000
CONTACT: JARED BRADSHAW
E-MAIL: jaredb@collinsarchgroup.com

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VICINITY MAP



CODE

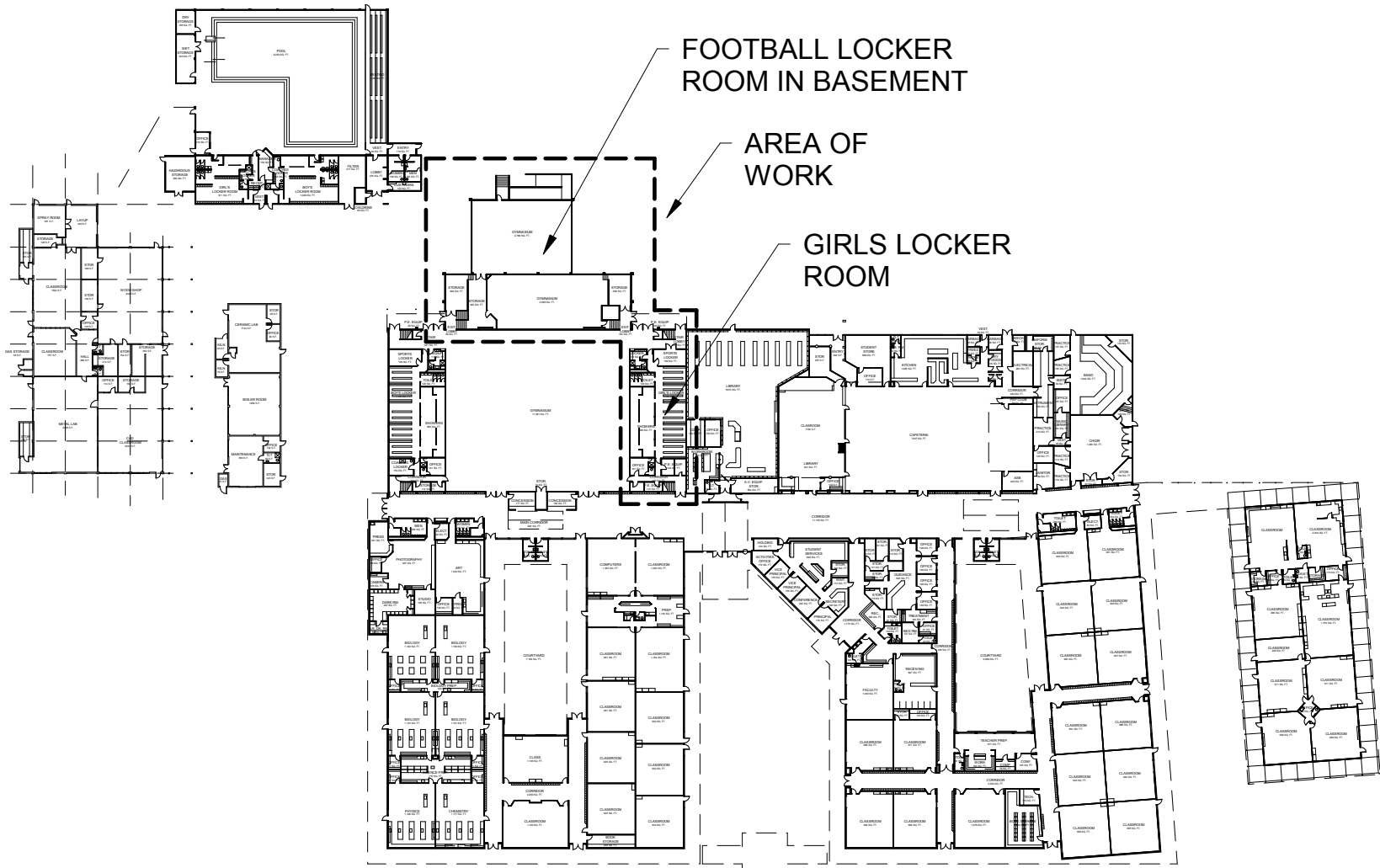
BUILDING CODE: 2018 IBC, 2018 WASHINGTON STATE BUILDING CODE

OCCUPANCY: E - EDUCATIONAL

CONSTRUCTION TYPE: TYPE II-B (NON-COMBUSTIBLE)

PROJECT DESCRIPTION

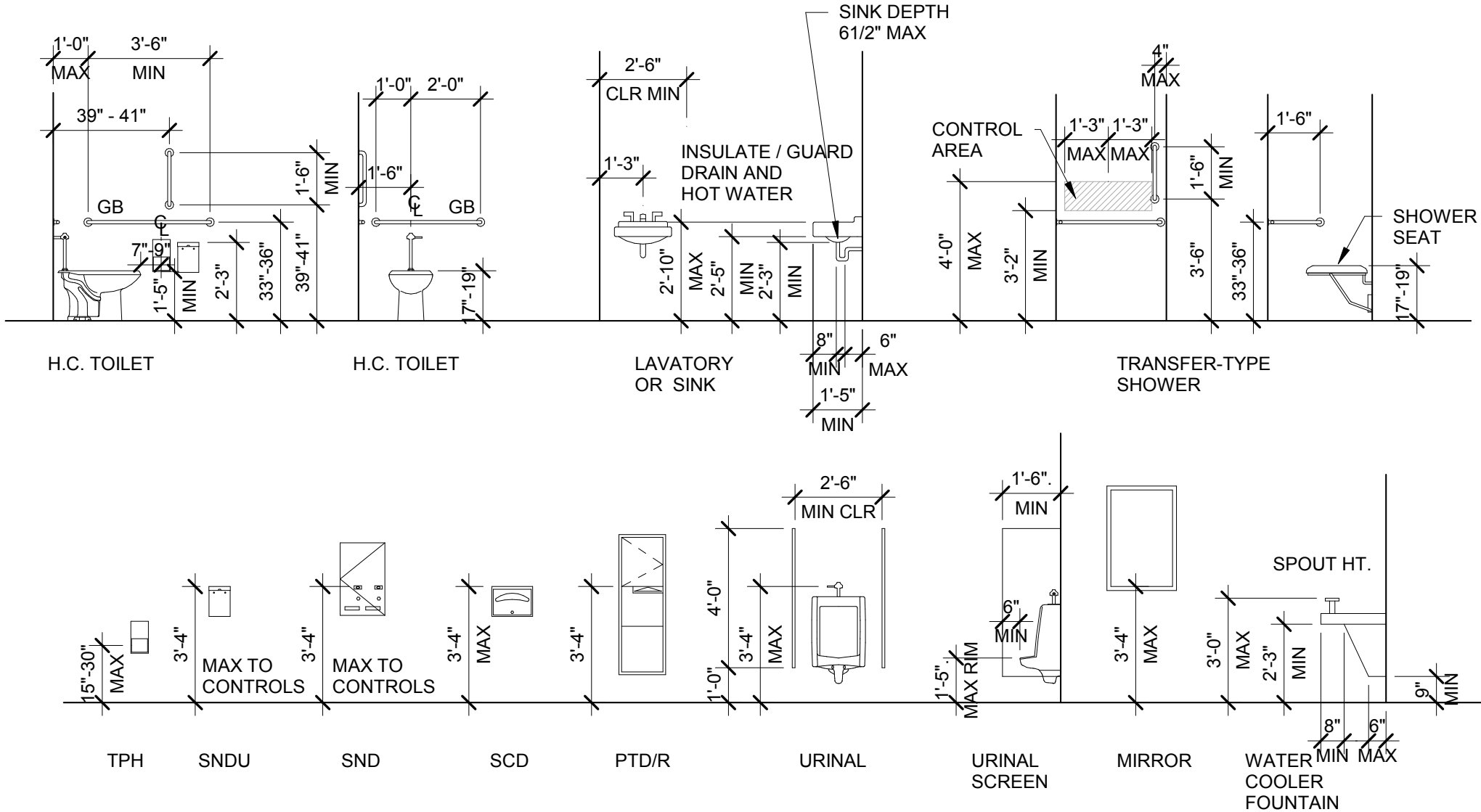
THIS PROJECT CONSISTS OF THE RENOVATION OF THE FOOTBALL LOCKER ROOM IN THE BASEMENT AND THE GIRLS PE LOCKER ROOM AT MARK MORRIS HIGH SCHOOL. WORK SCOPE INCLUDES, BUT NOT LIMITED TO: NEW LOCKERS, LIGHTING, TOILET PARTITIONS, CEILINGS, FINISHES, AND FIXTURE TRIM.



1 LOCKER ROOM KEY PLAN
A0.1 1" = 100'-0"

LEGEND

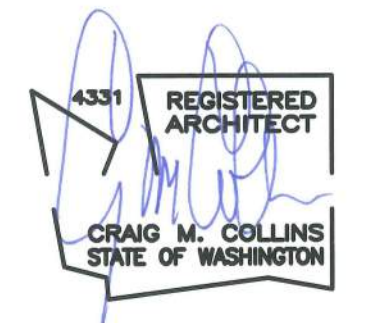
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SECTION LETTER SHEET NUMBER		FULL BUILDING SECTION
SECTION LETTER SHEET NUMBER		WALL SECTION / STAIR SECTION
DRAWING NUMBER SHEET NUMBER		INTERIOR / EXTERIOR ELEVATION
		DEMO KEYNOTES
		DOOR NUMBER
		KEYNOTES
		EXTERIOR WINDOW
		INTERIOR RELITE
		WALL TYPES
		GRID LINE
		CASEWORK



2 STANDARD MOUNTING HTS
A0.1 1/4" = 1'-0"

Revision Schedule		
#	Date	Description

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ARCHITECTURAL GROUP, P.S.
950 12th AVE., SUITE 200
LONGVIEW, WA 98632
PHONE: 360-425-0000
E-MAIL: craig@collinsarchgroup.com



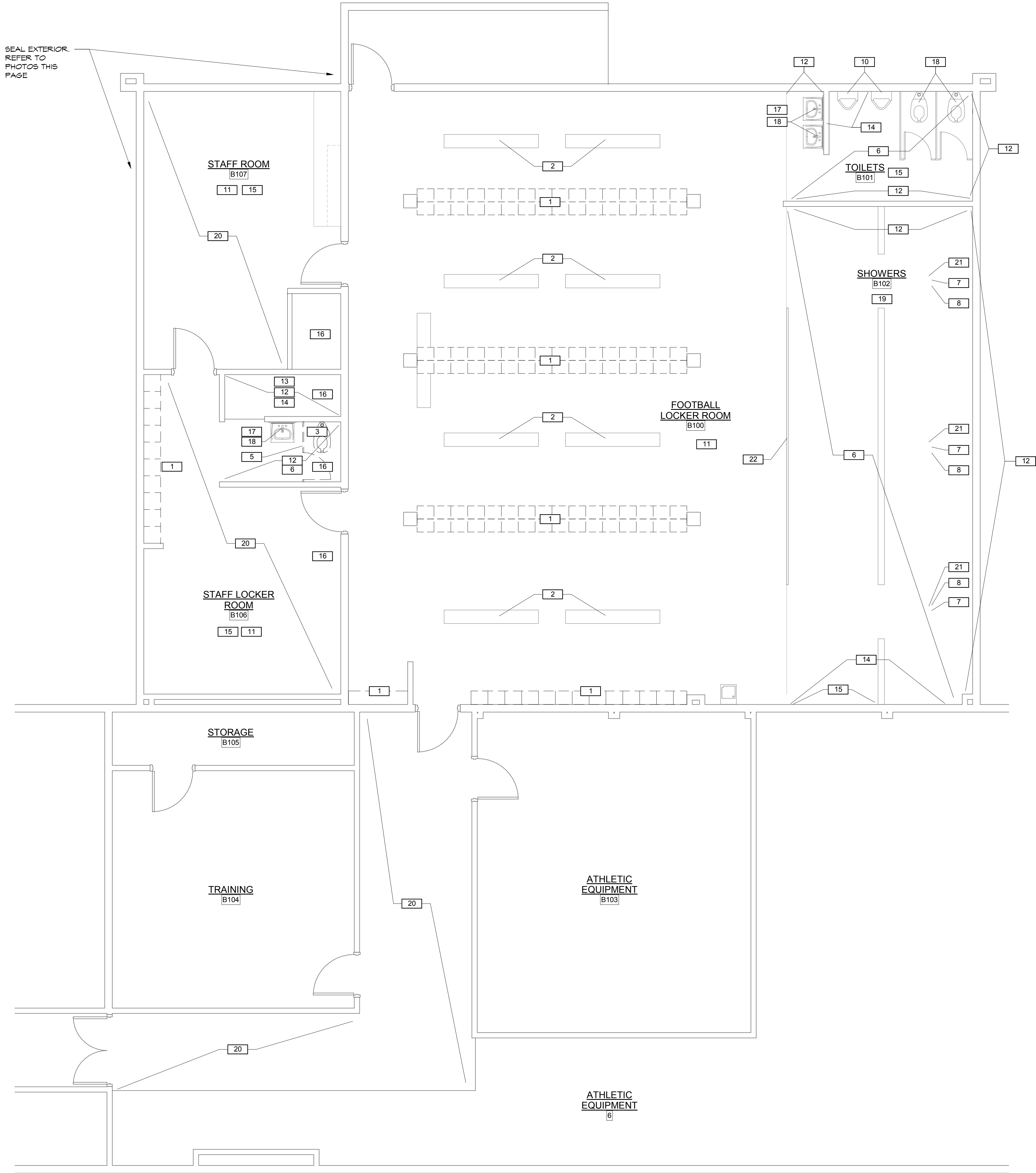
LONGVIEW SCHOOLS
LOCKER ROOMS REMODEL
1602 MARK MORRIS CT, LONGVIEW, WA 98632

BID SET
7/29/2021

COVER/SITE

2021-29
SHEET NO.

A0.1



SEAL EXTERIOR.
REFER TO
PHOTOS THIS
PAGE

GENERAL PLAN NOTES

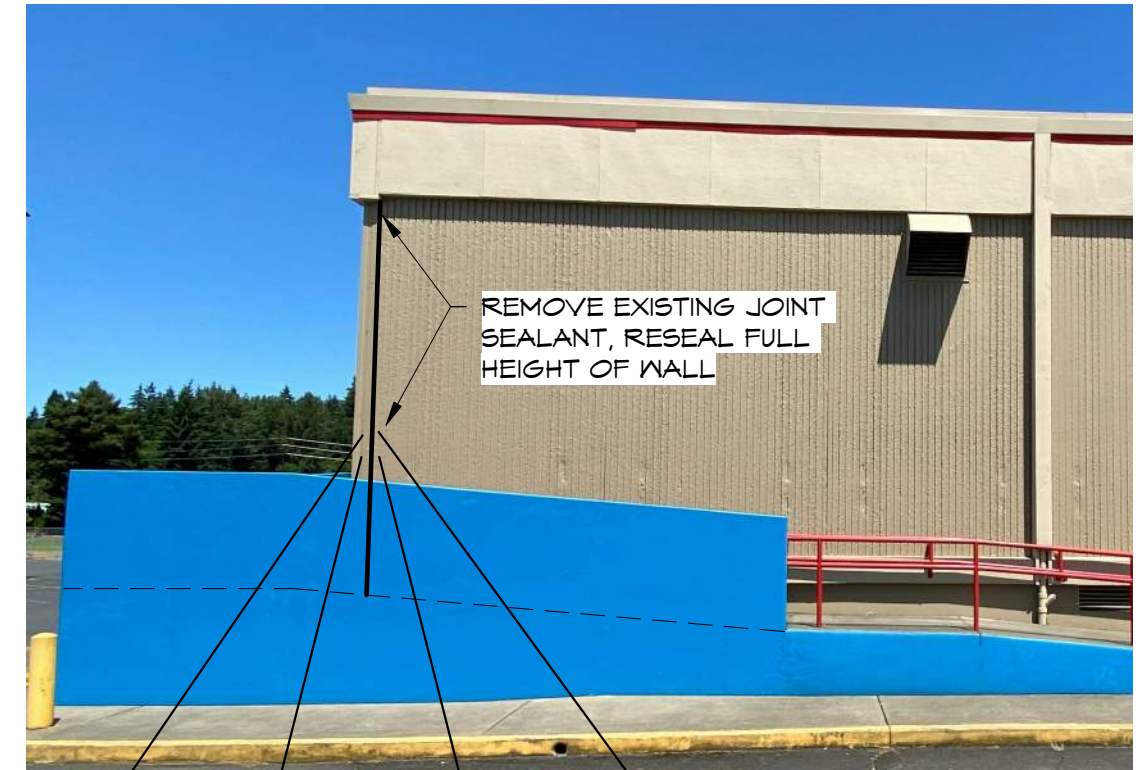
1 REMOVE ALL LIGHTING (48 FIXTURES TOTAL), WIRING TO REMAIN FOR NEW LIGHT FIXTURES

FIRST FLOOR PLAN KEYNOTES:

- 1 REMOVE EXISTING LOCKERS
- 2 REMOVE EXISTING BENCH TOPS. TO BE SANDED AND REFINISHED BY CONTRACTOR. REMOVE BENCH LEGS FOR NEW FLOOR INSTALLATION. PREP LEGS FOR PAINT
- 3 REMOVE EXISTING PLUMBING FIXTURES AND TRIM, EXISTING PLUMBING PIPING TO REMAIN
- 4 NOT USED
- 5 REMOVE EXISTING TOILET PARTITION
- 6 SHOT BLAST EXISTING EPOXY TO REMOVE COMPLETELY FROM CONCRETE FLOOR
- 7 REMOVE EXISTING PIPE INSULATION ON VERTICAL SECTION OF PIPE ABOVE SHOWER COLUMN.
- 8 REMOVE EXISTING STAINLESS STEEL SHOWER COLUMNS
- 9 NOT USED
- 10 REMOVE EXISTING URINAL FLUSH VALVES.
- 11 PREP CEILING AND WALLS FOR NEW PAINT
- 12 SCARIFY EPOXY FINISH ON CMU. REMOVE ANY LOOSE EPOXY
- 13 SCARIFY TILE FLOOR AND REMOVE ANY LOOSE/DAMAGED TILES
- 14 REMOVE FRP/PLAM FROM WALLS
- 15 REMOVE RUBBER BASE FROM ENTIRE ROOM
- 16 REMOVE DAMAGED/LOOSE PAINT FROM DUCT WORK ABOVE, PREP FOR NEW PAINT
- 17 REMOVE EXISTING PAPER TOWEL DISPENSER, MIRRORS, AND SOAP DISPENSORS FROM WALL. SALVAGE FOR REINSTALLATION
- 18 REMOVE EXISTING PLUMBING FIXTURE. SALVAGE FOR REINSTALLATION WITH NEW TRIM
- 19 PREP CEILING FOR NEW PAINT
- 20 SCARIFY EXISTING FLOOR PAINT REMOVING ANY DAMAGED/FLAKING PAINT FROM FLOOR
- 21 NOT USED
- 22 SAND AND PREP EXISTING RAILING FOR NEW PAINT



REMOVE EXISTING JOINT
SEALANT, RESEAL FULL
HEIGHT OF WALL



REMOVE EXISTING JOINT
SEALANT, RESEAL FULL
HEIGHT OF WALL

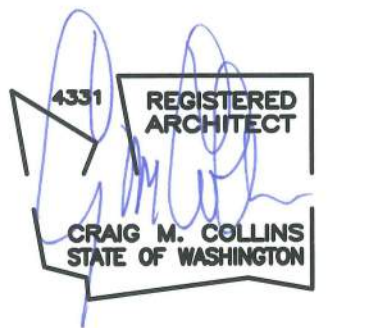


REMOVE JOINT
SEALANT AT BASE
OF WALL AND
RESEAL THREE FEET
FROM THE CORNER
EACH SIDE



REMOVE EXISTING
JOINT SEALANT AND
RESEAL FULL HEIGHT
OF WALL

Revision Schedule		
#	Date	Description



LONGVIEW SCHOOLS
LOCKER ROOMS REMODEL
1602 MARK MORRIS CT, LONGVIEW, WA 98632

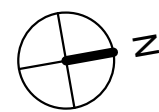
BID SET
7/29/2021

BASEMENT
PLAN DEMO

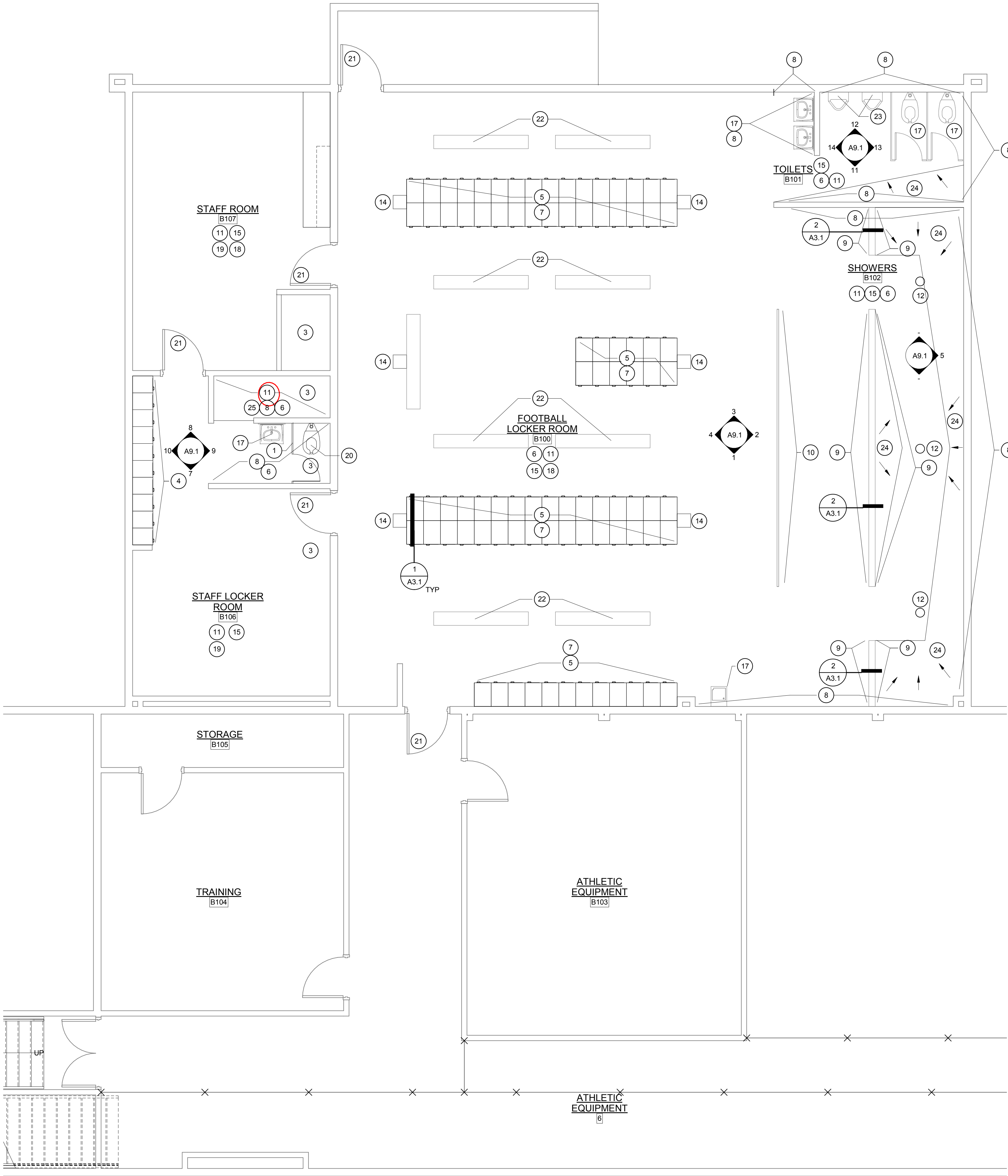
2021-29

SHEET NO.

A3.0



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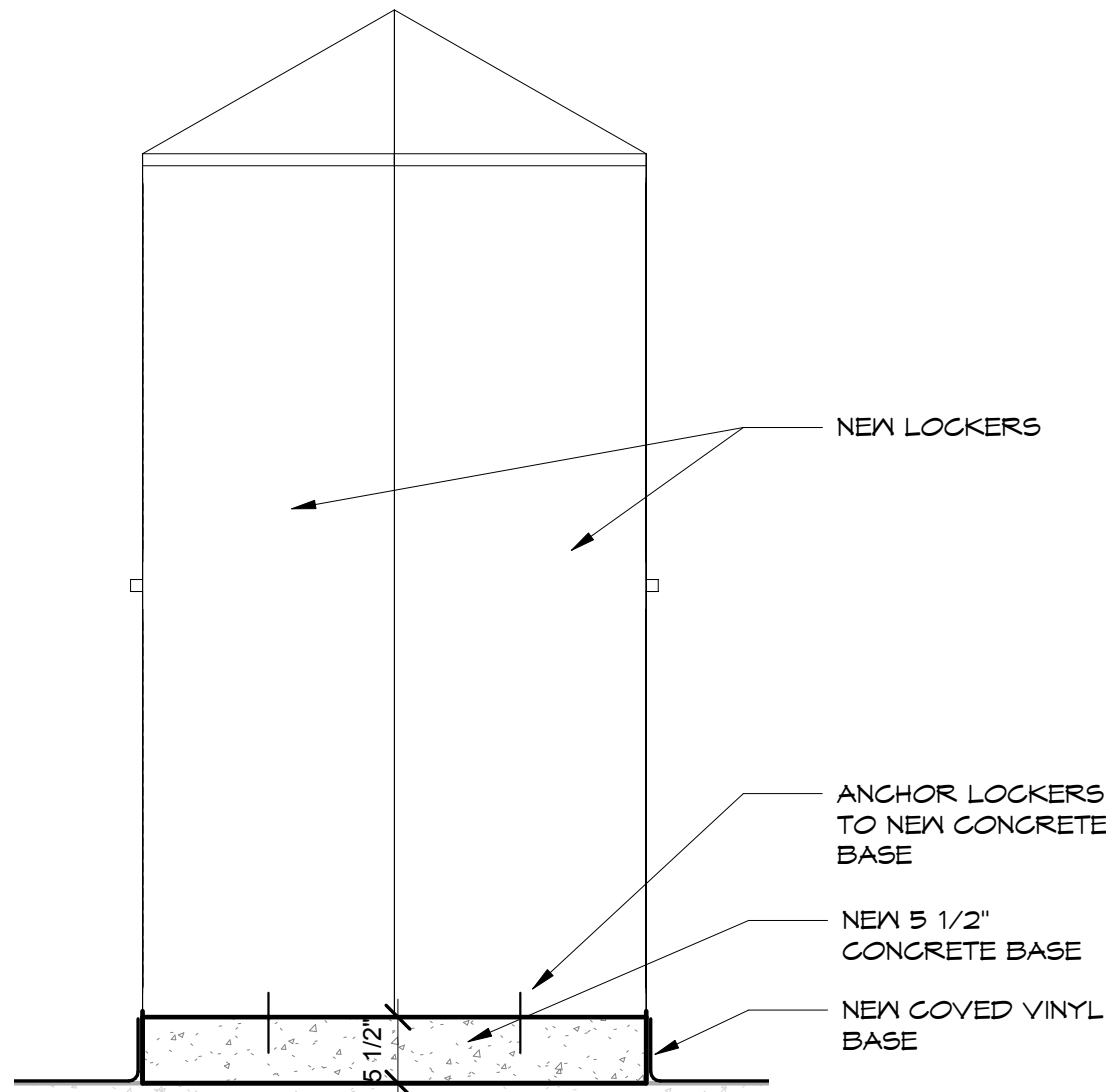
A FOOTBALL LOCKER ROOM
A3.1 1/4" = 1'-0"

GENERAL PLAN NOTES

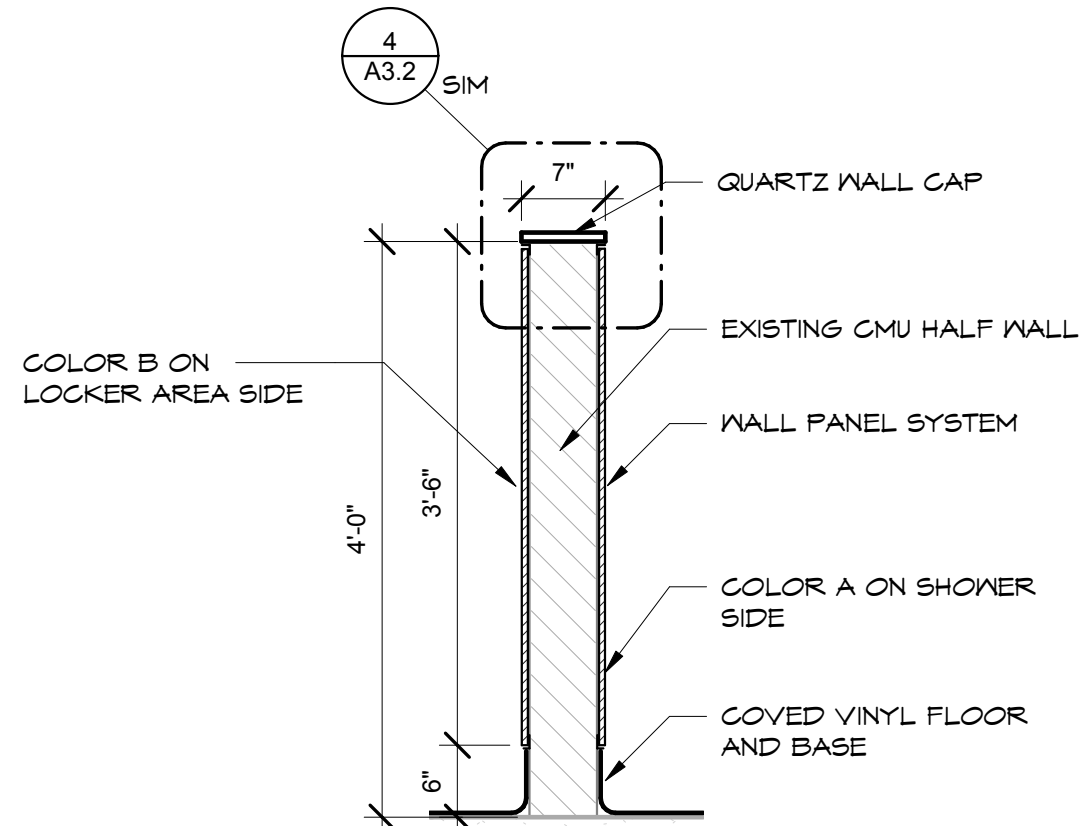
1 INSTALL NEW LIGHTING IN SAME LOCATION AS EXISTING FIXTURES. LIGHT FIXTURES (48 TOTAL) SHALL BE PROVIDED BY OWNER

FIRST FLOOR PLAN KEYNOTES:

- 1 INSTALL NEW TOILET PARTITION
- 2 NOT USED
- 3 PAINT EXISTING DUCTWORK ABOVE
- 4 INSTALL NEW 15" X 18" X 72" LOCKERS WITH INTEGRATED ENCLOSED BASE
- 5 INSTALL NEW 15" X 21" X 72" LOCKERS ON NEW CONCRETE BASE
- 6 INSTALL NEW 6" COVED VINYL BASE THROUGHOUT ROOM @ PERIMETER WALLS, SHOWER HALF WALLS, AND LOCKER BASES
- 7 INSTALL NEW 5 1/2" CONCRETE BASE FOR LOCKERS
- 8 INSTALL NEW 24" X 94" WALL PANEL SYSTEM ON EXISTING CMU WALL. EXTEND ELECTRICAL DEVICES TO FACE OF NEW WALL SURFACE. HOLD PANELS OFF FLOOR 6" FOR NEW COVED VINYL BASE. PAINT EXPOSED SCARIFIED WALL EPOXY ABOVE THE WALL PANEL
- 9 INSTALL NEW 24" WIDE WALL PANEL SYSTEM ON EXISTING CMU HALF WALL
- 10 PAINT EXISTING GAURDRAIL AND SUPPORTS TO CEILING
- 11 INSTALL NEW SHEET VINYL THROUGHOUT
- 12 NEW SHOWER COLUMN. CONNECT TO EXISTING HW AND CW SUPPLY FROM ABOVE. PROVIDE STAINLESS PIPE SHROUD TO CEILING TO CONCEAL PIPING. ACCOMMODATE EXISTING PIPING ABOVE
- 13 NOT USED
- 14 PAINT EXISTING COLUMN
- 15 PAINT CEILING (MASK OFF ALL ELECTRICAL EQUIPMENT PRIOR TO PAINTING), PAINT CEILING HVAC UNITS TO MATCH
- 16 NOT USED
- 17 INSTALL SALVAGED PLUMBING FIXTURE AFTER NEW WALL AND FLOOR FINISHES ARE INSTALLED, INSTALL NEW FAUCET AND ANGLE STOPS AND/OR FLUSH VALVES
- 18 PAINT WALLS THROUGHOUT ENTIRE ROOM
- 19 INSTALL NEW 6 INCH RUBBER BASE THROUGHOUT ROOM
- 20 INSTALL NEW WATER CLOSET AND FLUSH VALVE
- 21 PAINT DOOR AND FRAME
- 22 REINSTALL REFINISHED BENCHES TOPS, PAINT AND REINSTALL BENCH LEGS
- 23 INSTALL NEW SALVAGED FLUSH VALVES ON EXISTING URINALS
- 24 INSTALL CONCRETE TOPPING MATERIAL ALONG WALL TO SLOPE CONCRETE FLOOR TOWARDS FLOOR DRAINS AND ELIMINATE PUDDLES
- 25 INSTALL CEMENTITIOUS LEVELING PRODUCT ON EXISTING MOSAIC TILES TO MASK GROUT JOINTS WHEN NEW SHEET VINYL FLOOR IS INSTALLED

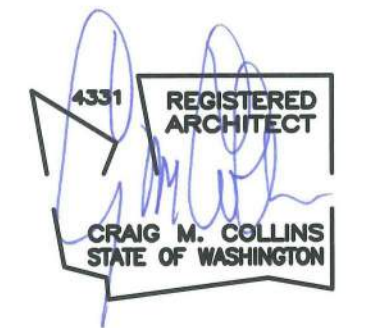


1 NEW CONCRETE BASE
A3.1 3/4" = 1'-0"



2 CMU HALF WALL DETAIL
A3.1 3/4" = 1'-0"

Revision Schedule		
#	Date	Description



**LONGVIEW SCHOOLS
LOCKER ROOMS REMODEL**
1602 MARK MORRIS CT, LONGVIEW, WA 98632

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7/29/2021

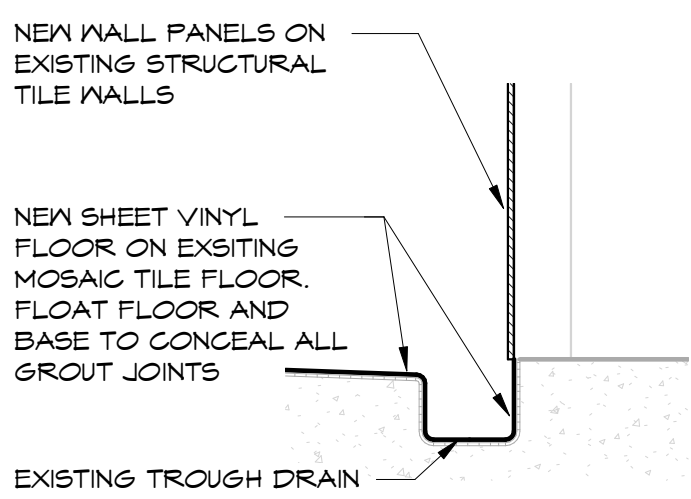
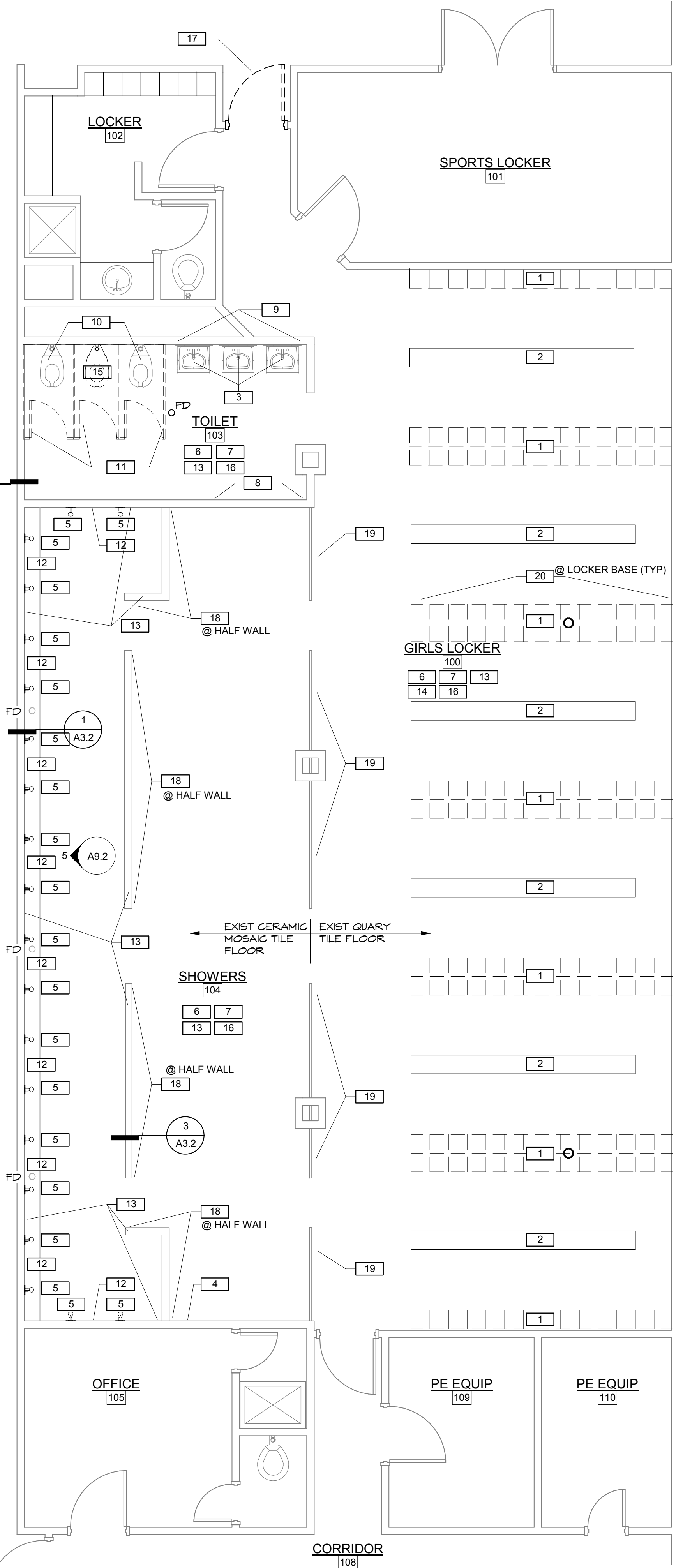
BASEMENT
PLAN

2021-29

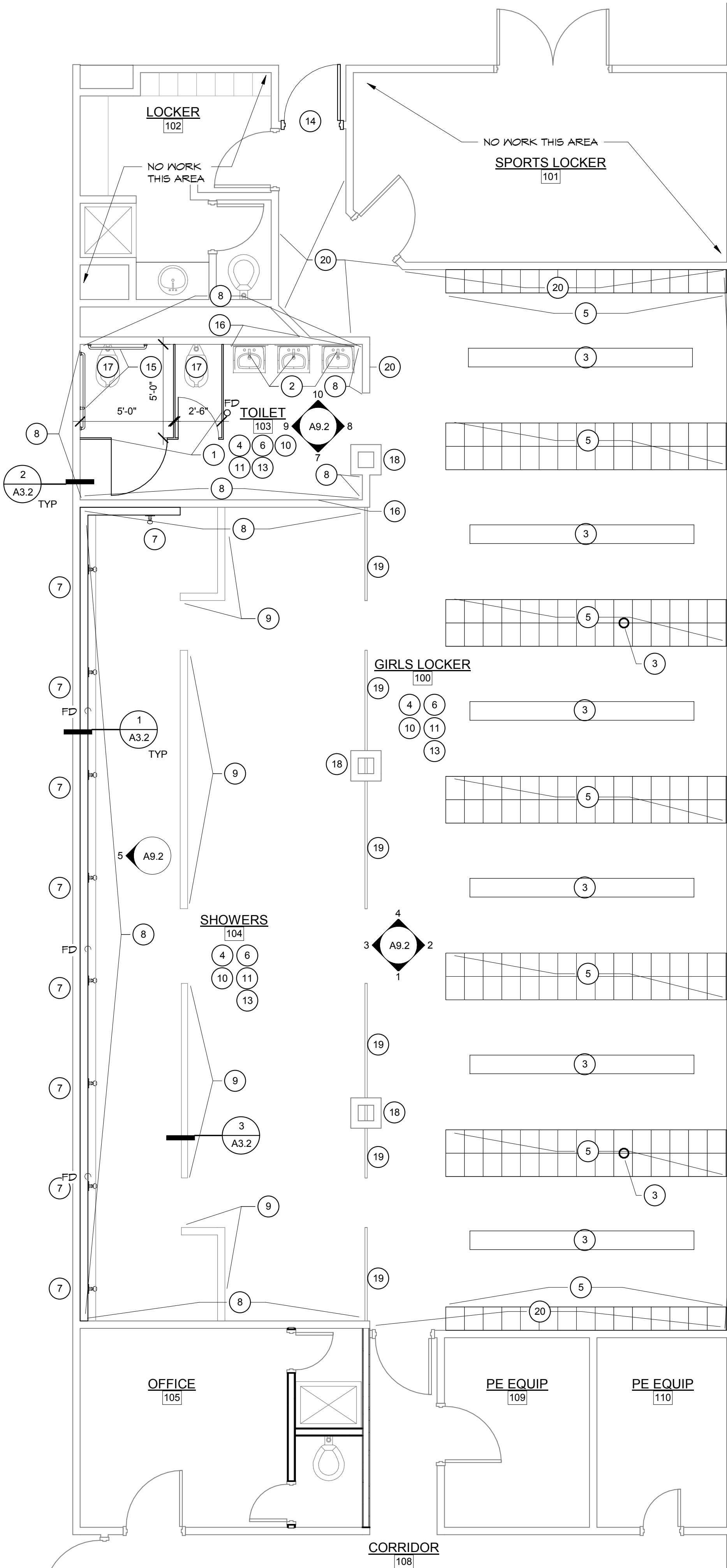
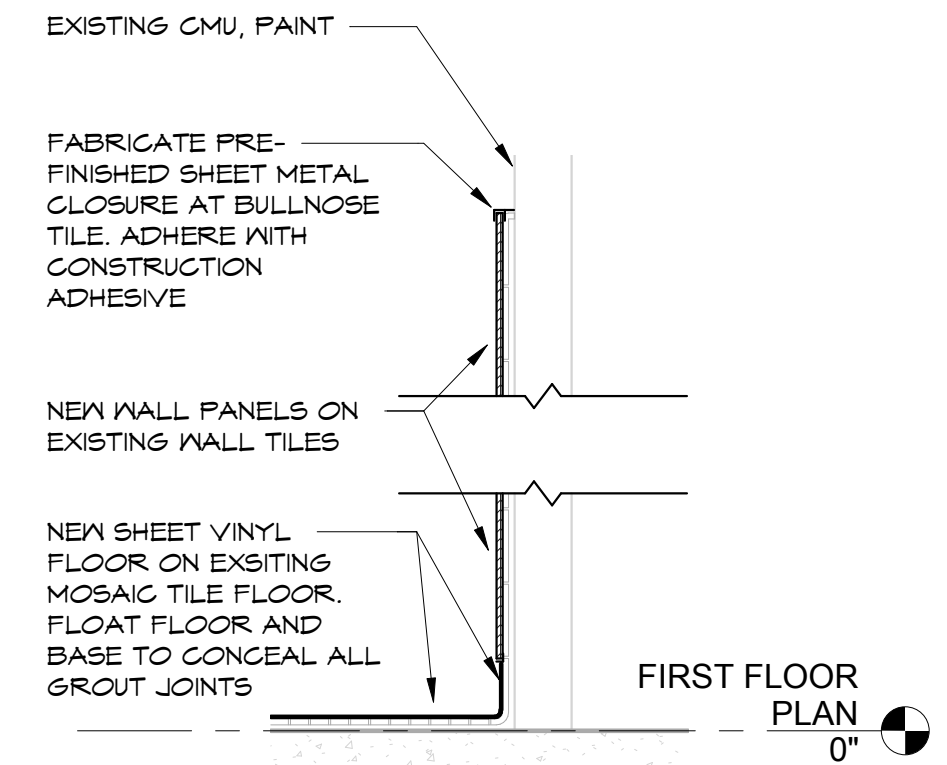
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A3.1

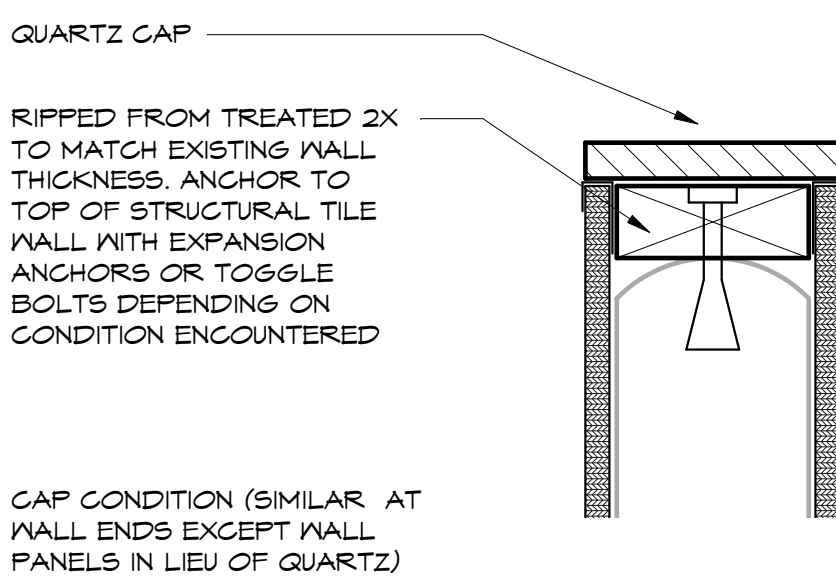
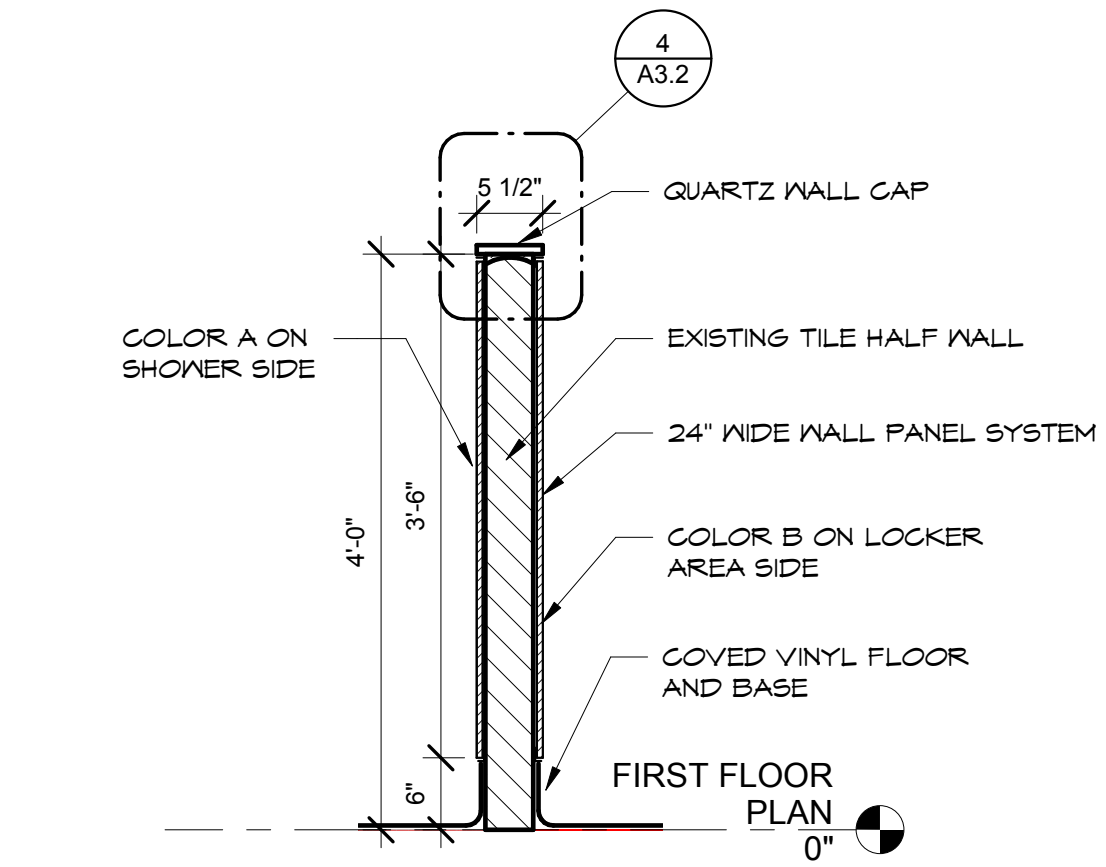
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- GENERAL PLAN NOTES**
- 1 REMOVE ALL LIGHTING (28 FIXTURES TOTAL), WIRING TO REMAIN FOR NEW LIGHT FIXTURES
- FIRST FLOOR PLAN KEYNOTES:**
- 1 REMOVE EXISTING LOCKERS, CONCRETE BASES TO REMAIN
 - 2 REMOVE EXISTING BENCH TOPS TO BE SANDED AND REFINISHED BY CONTRACTOR. PAINT BENCH LEGS TO REMAIN. PREP FOR PAINT
 - 3 REMOVE EXISTING PLUMBING FIXTURES FOR INSTALLATION OF NEW WALL FINISHES. EXISTING PLUMBING PIPING TO REMAIN FOR REINSTALLATION OF FIXTURES IN SAME LOCATION
 - 4 REMOVE EXISTING SURFACE MOUNT MIRROR
 - 5 REMOVE EXISTING PLUMBING FIXTURES, CAP EXISTING PLUMBING IN WALL
 - 6 SCARIFY TILE FLOOR AND TILE BASE THROUGHOUT ROOM TO AID IN ADHESION OF NEW FLOORING
 - 7 REMOVE CEILING GRID AND LIGHTING FIXTURES THROUGHOUT ROOM. WIRING FOR LIGHTING AND HVAC DUCT WORK TO REMAIN FOR REUSE
 - 8 REMOVE EXISTING MIRROR FROM WALL. SALVAGE FOR REINSTALLATION
 - 9 REMOVE EXISTING PAPER TOWEL DISPENSER, MIRRORS, AND SOAP DISPENSERS FROM WALL. SALVAGE FOR REINSTALLATION
 - 10 REMOVE EXISTING PLUMBING FIXTURE FOR INSTALLATION OF NEW FLOORING. EXISTING PLUMBING PIPING TO REMAIN FOR REINSTALLATION
 - 11 REMOVE EXISTING TOILET PARTITIONS
 - 12 EXISTING RECESSED SOAP SHELF (TO BE COVERED WITH NEW WALL PANELS)
 - 13 SCARIFY EXISTING WALL TILE SURFACES TO AID IN ADHESION OF NEW WALL PANELS
 - 14 REMOVE EXISTING ELECTRICAL EQUIPMENT ON CEILING THROUGHOUT ROOM. INCLUDES, BUT NOT LIMITED TO, TWO FIRE ALARMS, TWO SPEAKERS, AND TWO SMOKE DETECTORS. SALVAGE FOR REINSTALLATION
 - 15 REMOVE EXISTING WATER CLOSET, ABANDON AND CAP PLUMBING PIPING
 - 16 REMOVE DAMAGED TILE FROM WALL AND FLOOR THROUGHOUT ROOM.
 - 17 REMOVE EXISTING HOLLOW CORE DOOR, FRAME TO REMAIN
 - 18 REMOVE EXIST COVED STRUCTURAL TILE BASE FROM ALL SIDES OF HALF WALL
 - 19 SAND AND PREP RAILING FOR NEW PAINT
 - 20 REMOVE QUARRY TILE BASE FROM CONCRETE LOCKER BASES. PREPARE FOR NEW VINYL COVED BASE



- GENERAL PLAN NOTES**
- 1 INSTALL NEW LIGHTING IN SAME LOCATION AS EXISTING FIXTURES. LIGHT FIXTURES (28 TOTAL) SHALL BE PROVIDED BY OWNER
- FIRST FLOOR PLAN KEYNOTES:**
- 1 INSTALL NEW TOILET PARTITIONS
 - 2 REINSTALL EXISTING LAVATORY. INSTALL NEW FAUCET AND NEW ANGLE STOPS
 - 3 REINSTALL REFINISHED BENCH TOP. PAINT LEGS
 - 4 REINSTALL EXISTING ELECTRICAL CEILING EQUIPMENT THROUGHOUT ROOM
 - 5 INSTALL NEW 12" X 15" X 60" DOUBLE HEIGHT LOCKER ON EXISTING CONCRETE BASE. INSTALL 1/2" PLAM ON TOP AND EXPOSED ENDS OF THE ROWS
 - 6 INSTALL NEW 6" COVED VINYL BASE THROUGHOUT ROOM OVER EXISTING QUARRY TILE BASE @ PERIMETER WALLS. AT CONCRETE LOCKER BASES AND SHOWER HALF WALLS INSTALL OVER EXISTING CONCRETE SUBSTRATE
 - 7 INSTALL NEW STAINLESS STEEL COVER WITH NEW SHOWER MIXING VALVES AND SHOWER HEADS. NEW HW & CW
 - 8 INSTALL NEW 24" X 94" WALL PANEL SYSTEM ON EXISTING GLAZED STRUCTURAL TILE WALL
 - 8A INSTALL NEW 24" WIDE WALL PANEL SYSTEM TRIMMED TO HEIGHT OF TOP OF EXISTING TILE (APPROX 76", FIELD VERIFY) ON EXISTING CERAMIC TILE. SEE 2/A3.2
 - 9 INSTALL NEW 24" WIDE WALL PANEL SYSTEM TRIMMED TO MATCH HEIGHT OF EXISTING STRUCTURAL GLAZED TILE HALF WALL ON BOTH SIDES AND END. INSTALL QUARTZ CAP. SEE 3/A3.2
 - 10 INSTALL A CEMENTITIOUS SELF LEVELING COMPOUND OVER PREPPED AND CLEANED TILE FLOOR THROUGHOUT ROOM. COVER ENTIRE TILE NOT JUST THE GROUT JOINTS. FILL ANY SPOTS WHERE TILES HAVE BEEN REMOVED
 - 11 INSTALL NEW VINYL SHEET FLOORING THROUGHOUT
 - 12 EXISTING PIPE COLUMN, PAINT
 - 13 INSTALL NEW SUSPENDED ACOUSTICAL TILE CEILING THROUGHOUT ROOM
 - 14 INSTALL NEW 3'-0" X 7'-0" SOLID CORE WOOD DOOR IN EXISTING FRAME. REUSE EXISTING HARDWARE
 - 15 INSTALL NEW ADA GRAB BARS
 - 16 REINSTALL BATHROOM MIRRORS, SOAP DISPENSERS, AND TOWEL DISPENSERS ON WALL
 - 17 REINSTALL SALVAGED PLUMBING FIXTURE AFTER NEW FLOORING INSTALLATION. INSTALL NEW FLUSH VALVE
 - 18 PAINT EXISTING COLUMN
 - 19 PAINT EXISTING PIPE RAILS
 - 20 PAINT WALL SURFACE



- 4 HALF WALL CAP DETAIL A3.2 3" = 1'-0"**

Revision Schedule		
#	Date	Description



**LONGVIEW SCHOOLS
LOCKER ROOMS REMODEL**
1602 MARK MORRIS CT, LONGVIEW, WA 98632

**BID SET
7/29/2021**

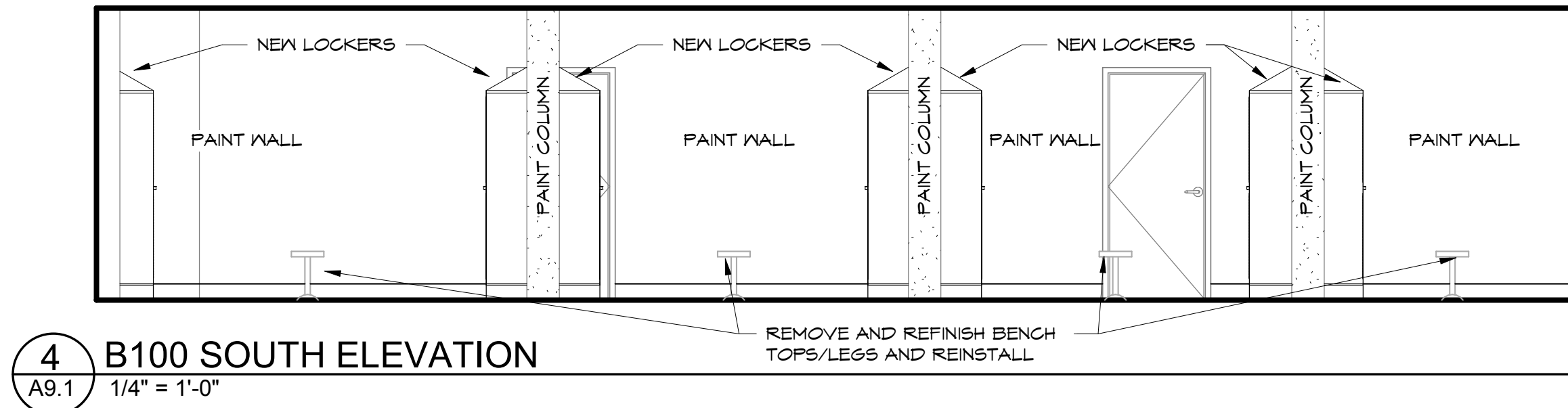
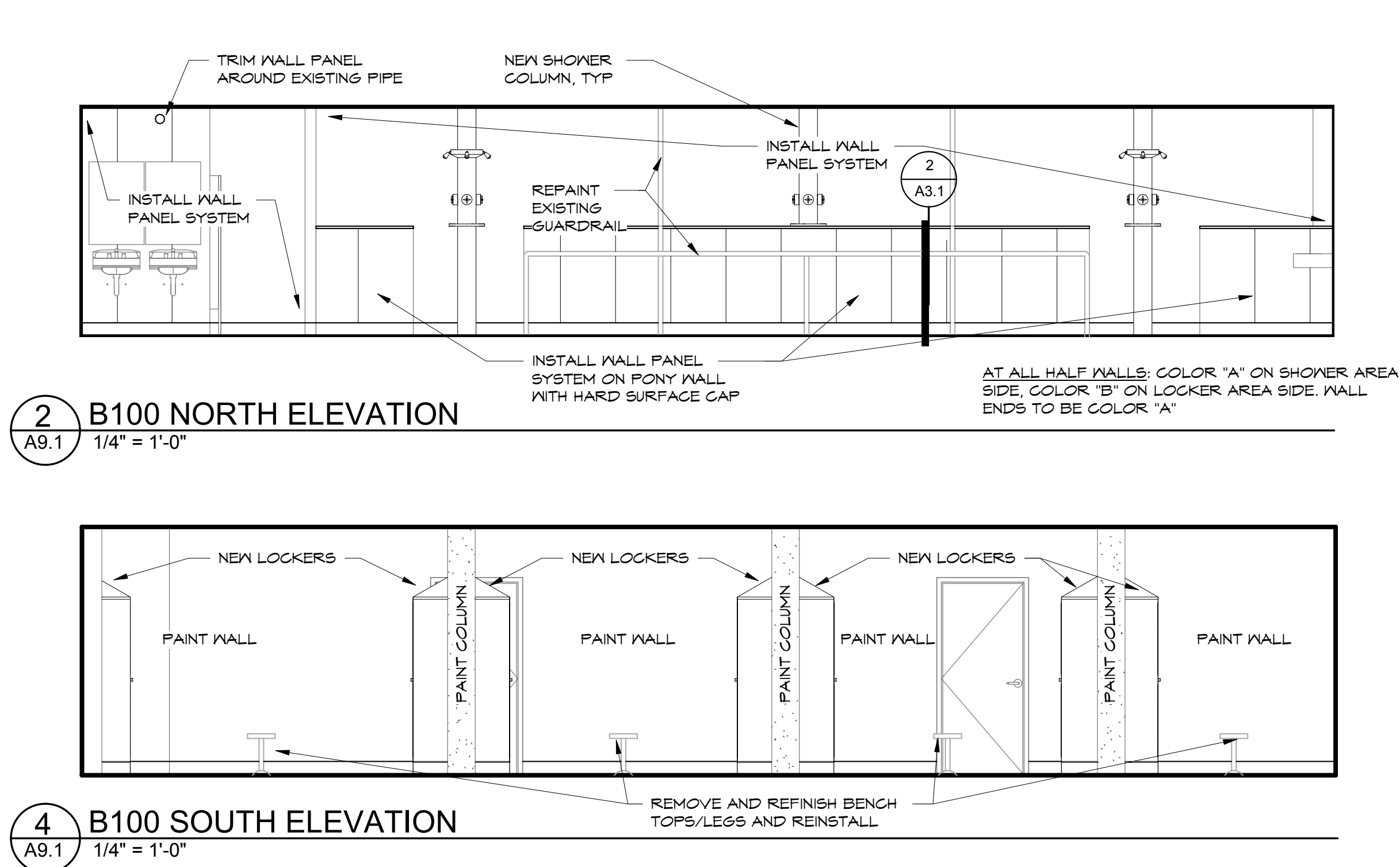
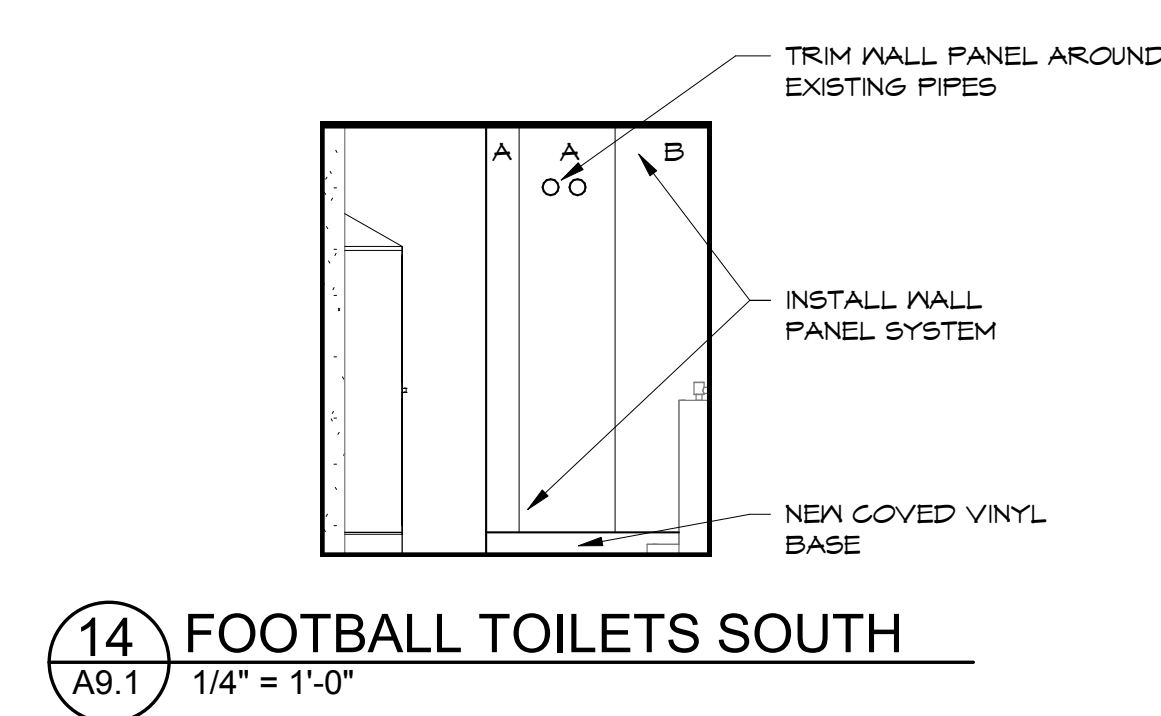
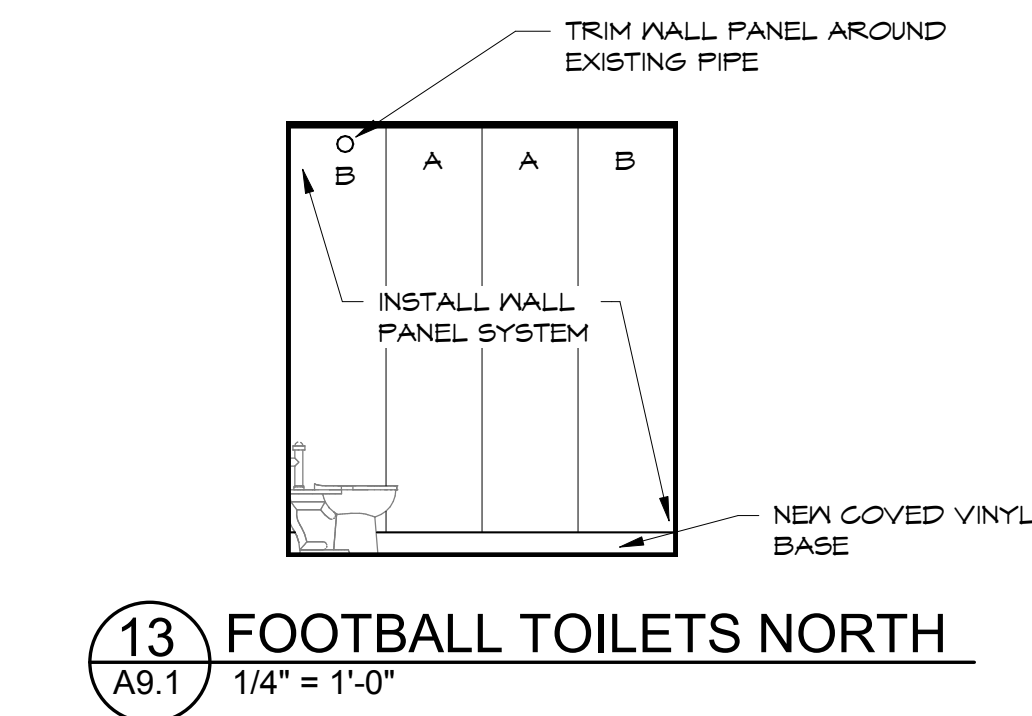
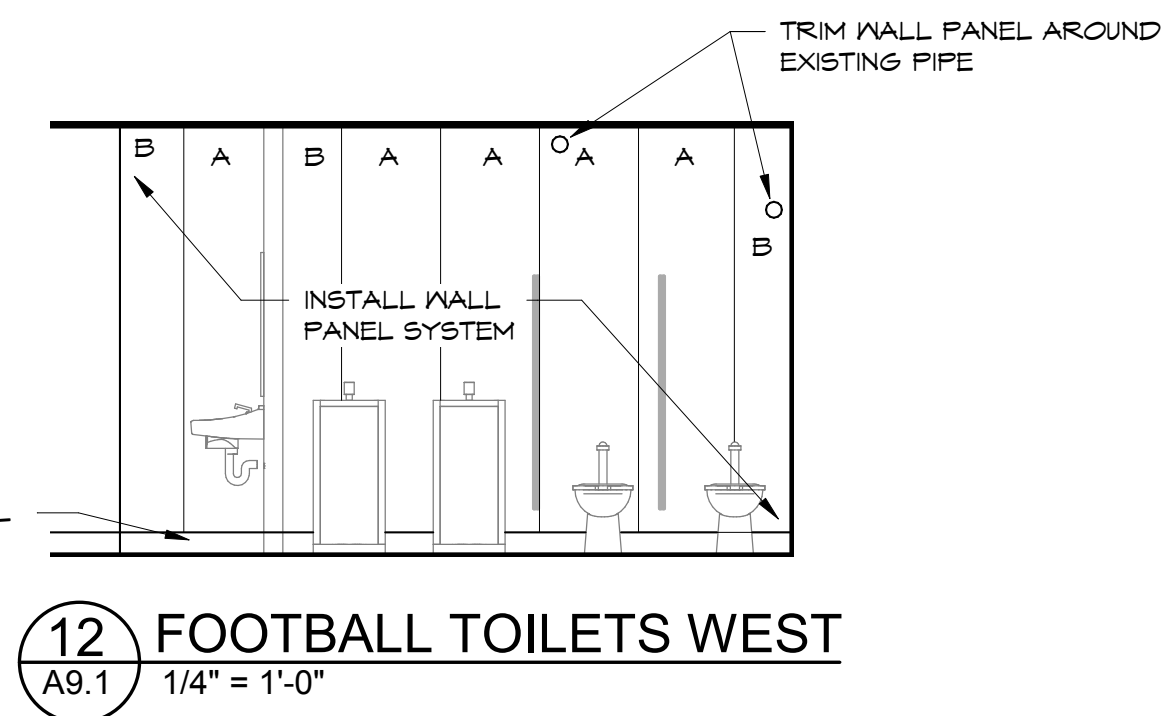
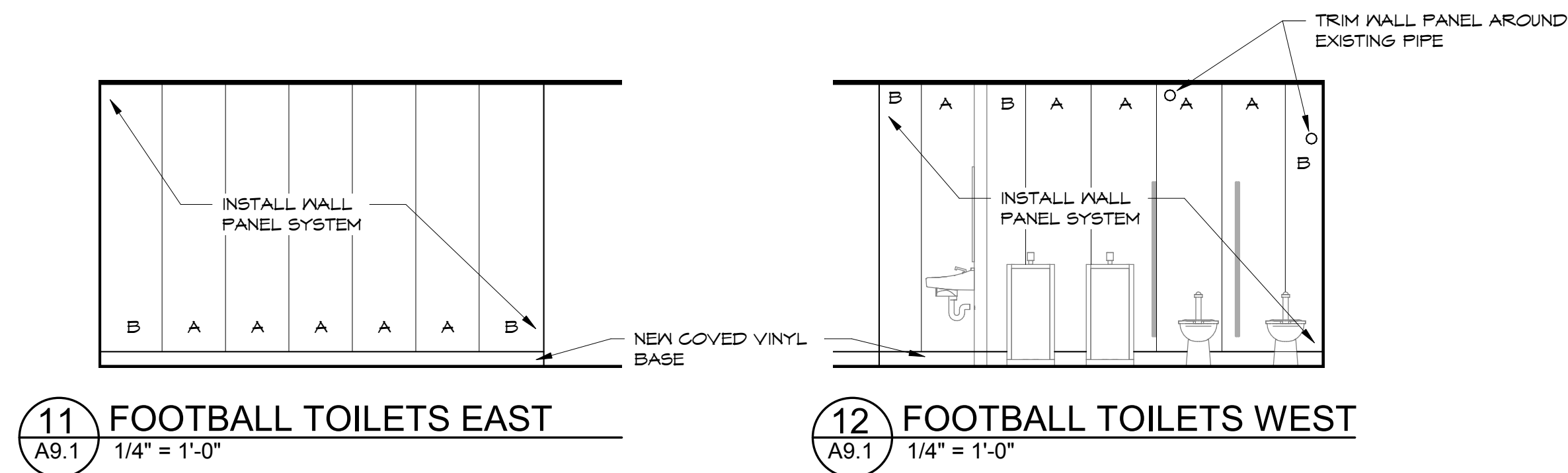
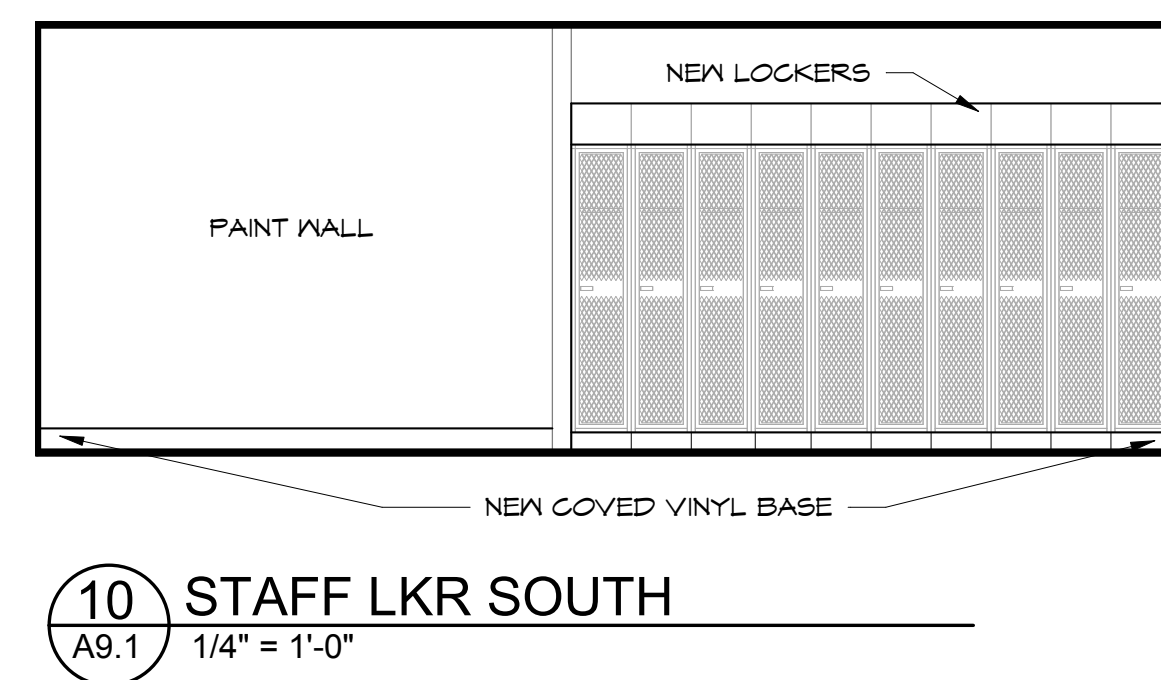
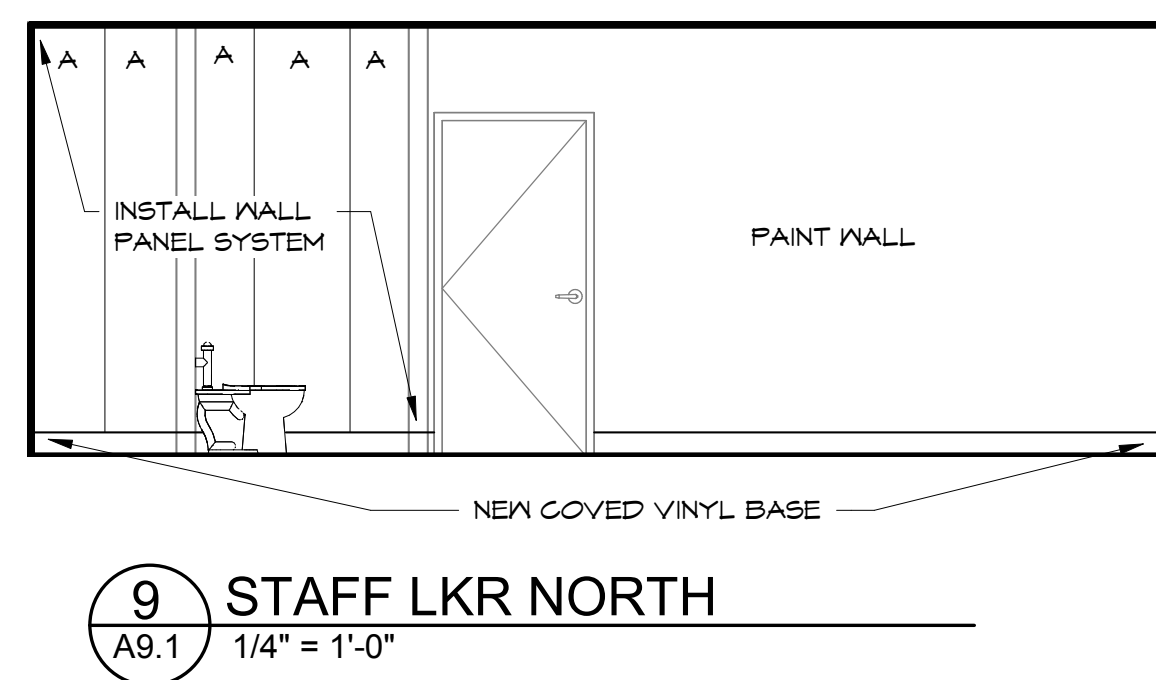
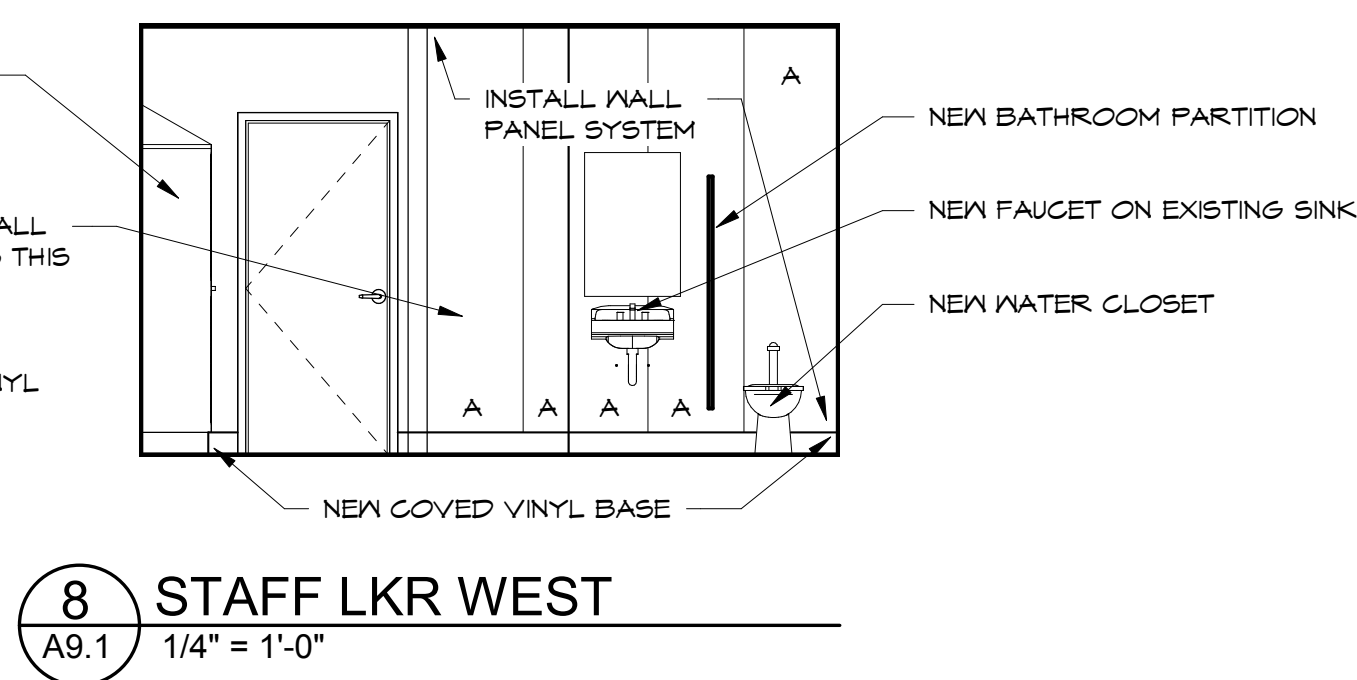
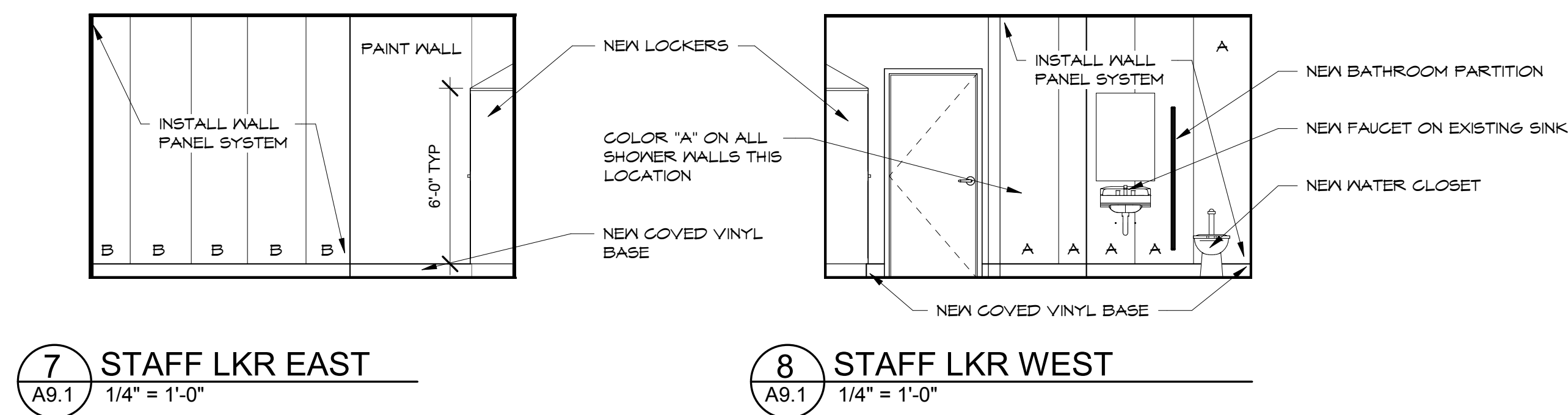
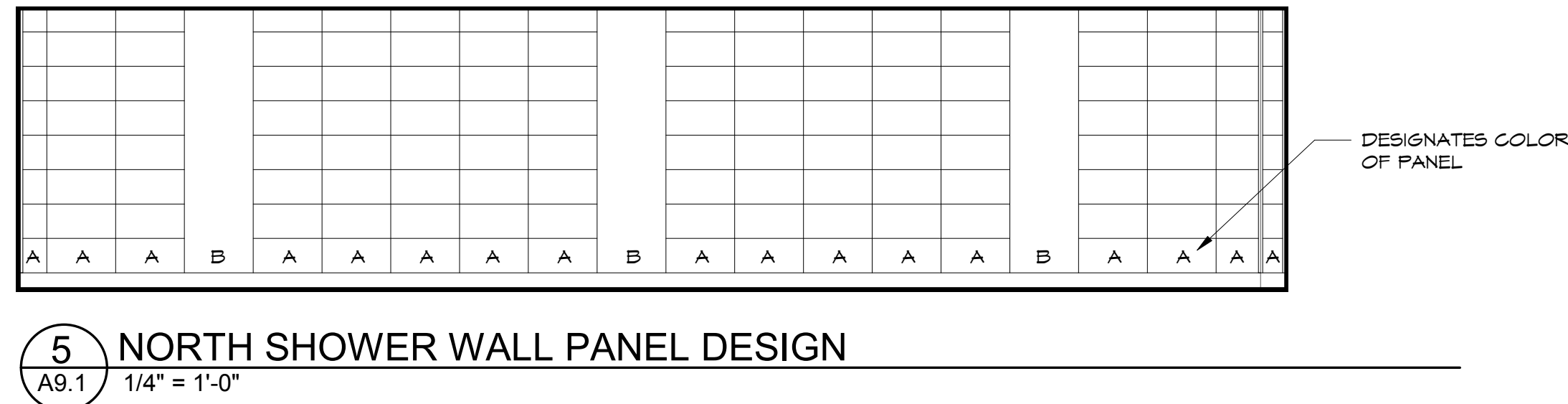
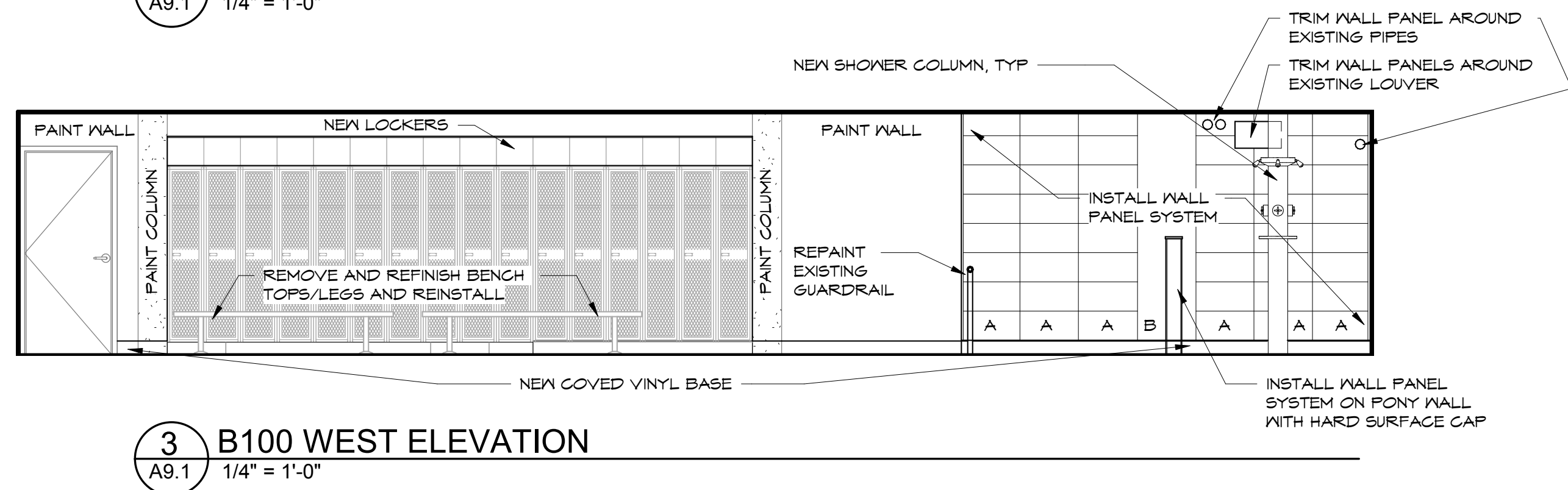
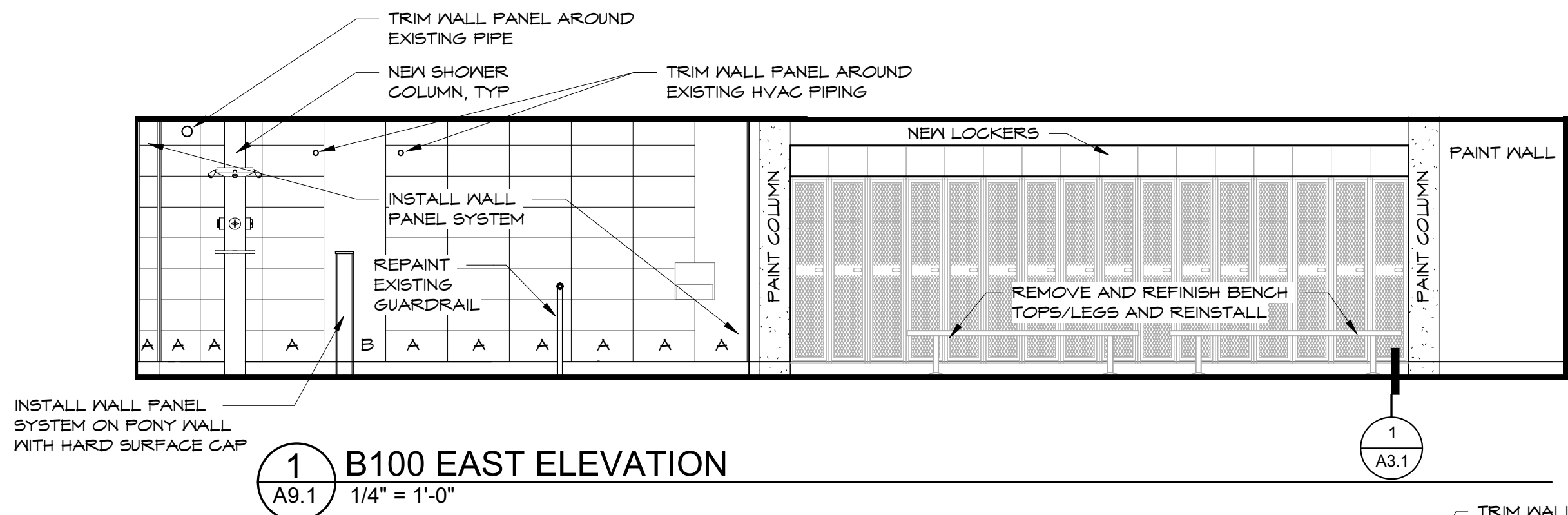
**GIRL LOCKER
PLAN**

2021-29

SHEET NO.

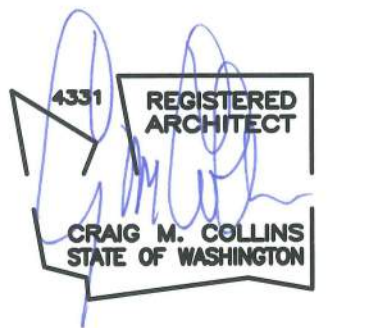
A3.2

7/29/2021 10:55:28 AM



Revision Schedule		
#	Date	Description

COLLINS
ARCHITECTURAL GROUP, P.S.
950 12th AVE., SUITE 200
LONGVIEW, WA 98632
PHONE: 360-425-0000
E-MAIL: craig@collinsarchgroup.com



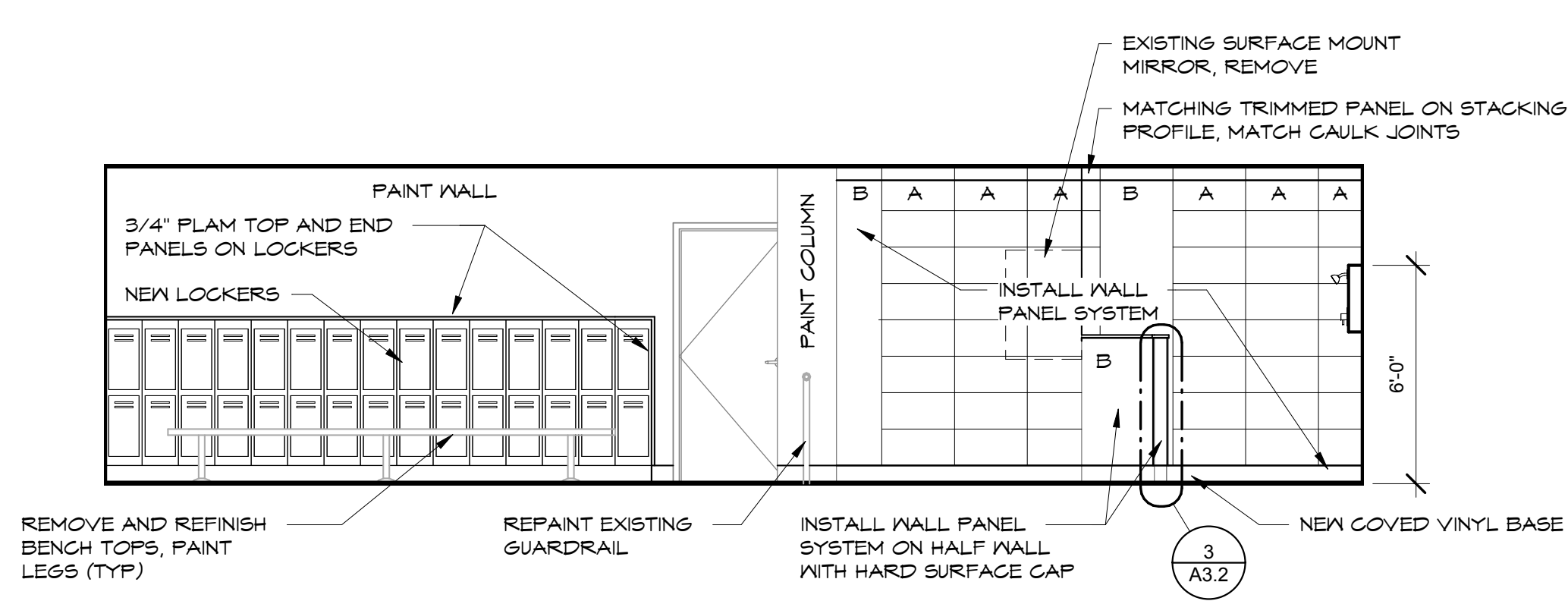
LONGVIEW SCHOOLS
LOCKER ROOMS REMODEL
1602 MARK MORRIS CT, LONGVIEW, WA 98632

BID SET
7/29/2021

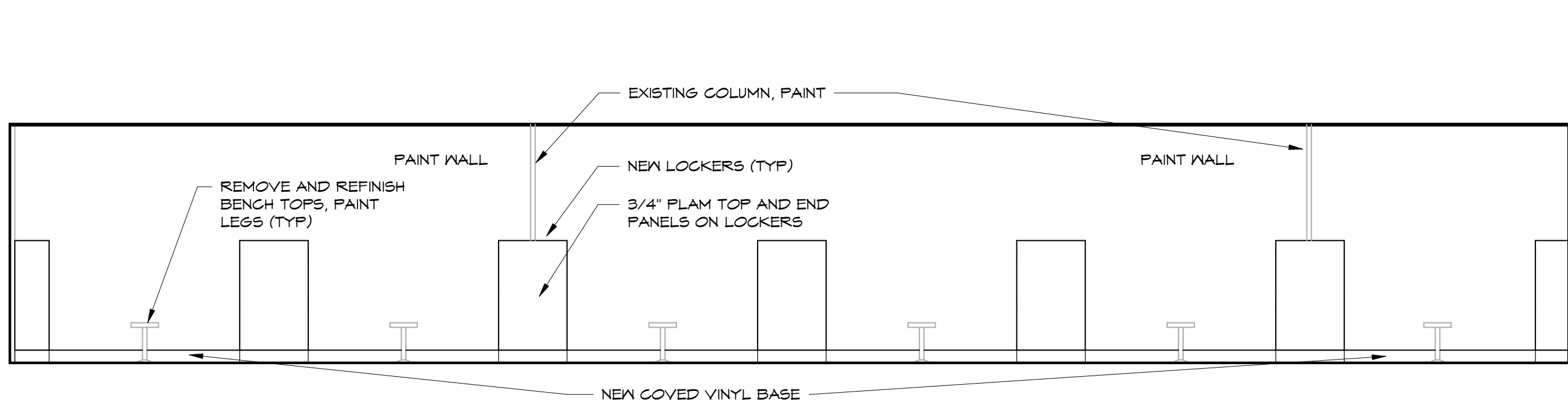
FOOTBALL
INTR ELEV

2021-29
SHEET NO.

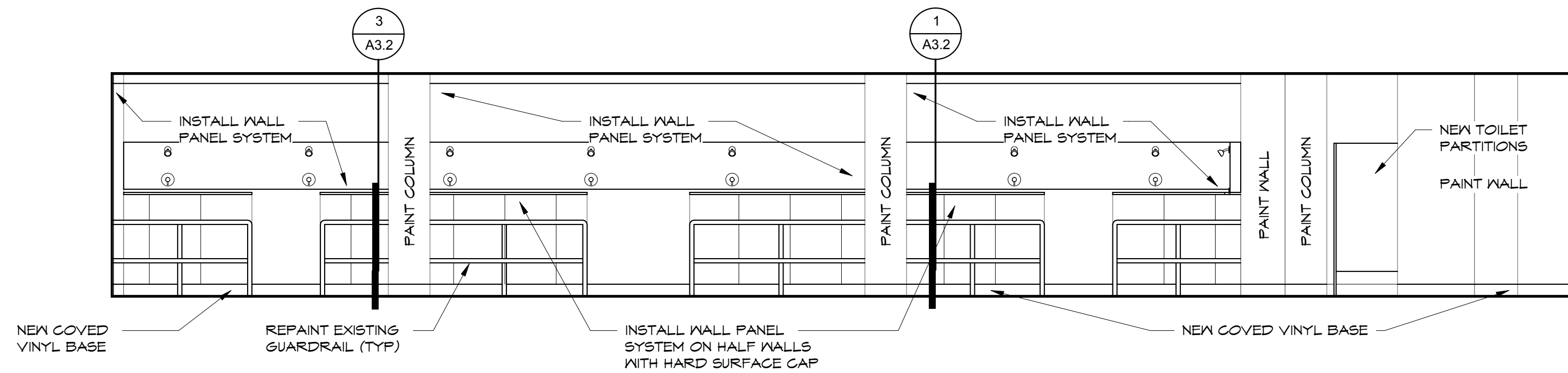
A9.1



1 RM 100 EAST ELEVATION
A9.2 1/4" = 1'-0"

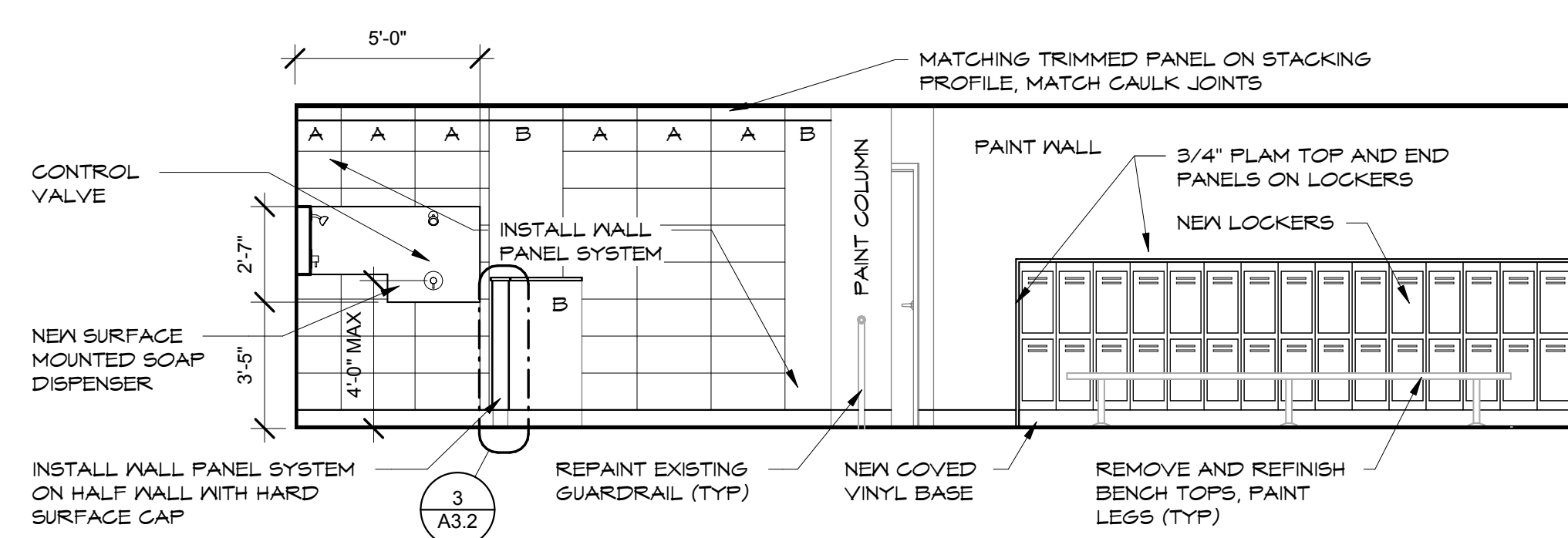


2 RM 100 NORTH ELEVATION
A9.2 1/4" = 1'-0"

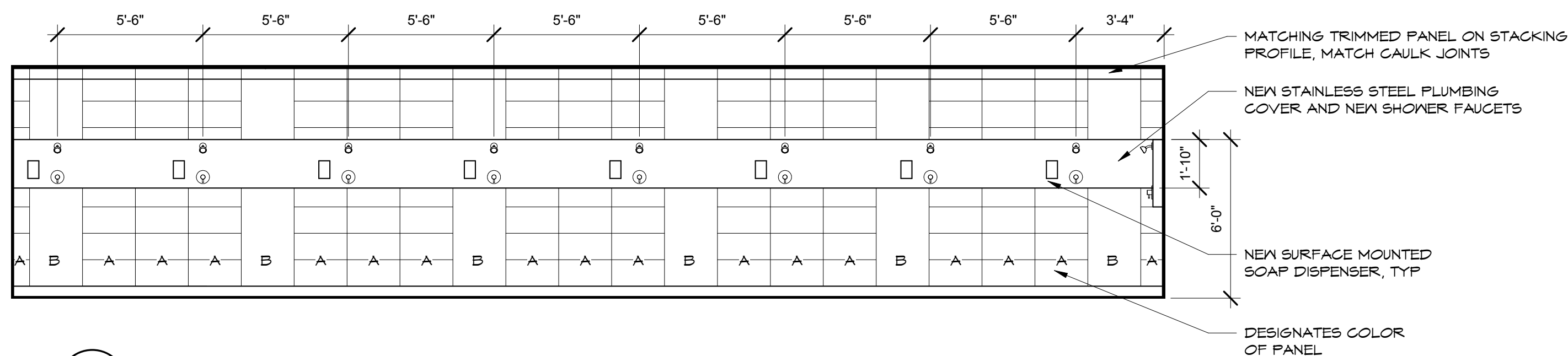


3 RM 100 SOUTH ELEVATION
A9.2 1/4" = 1'-0"

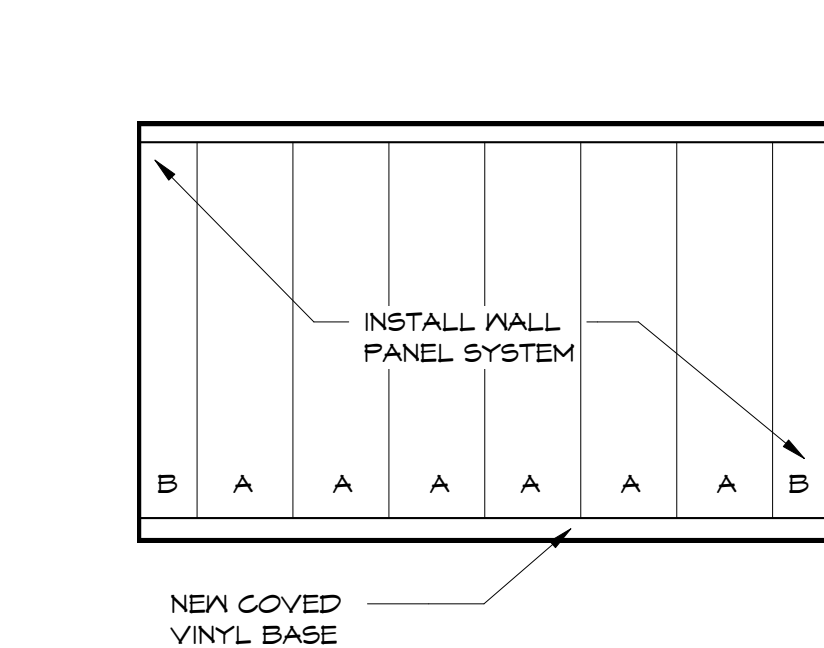
AT ALL HALF WALLS; COLOR "A" ON SHOWER AREA SIDE, COLOR "B" ON LOCKER AREA SIDE. WALL ENDS TO BE COLOR "A"



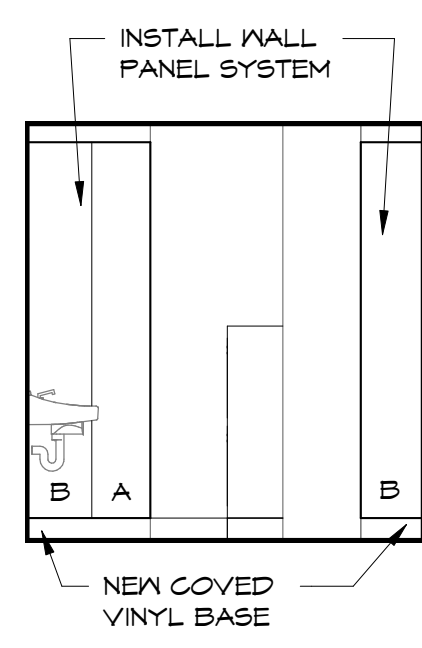
4 RM 100 WEST ELEVATION (ADA SHOWER)
A9.2 1/4" = 1'-0"



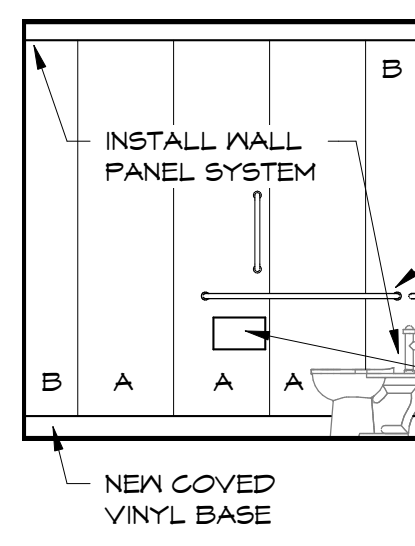
5 GIRLS SOUTH SHOWER WALL PANEL DESIGN
A9.2 1/4" = 1'-0"



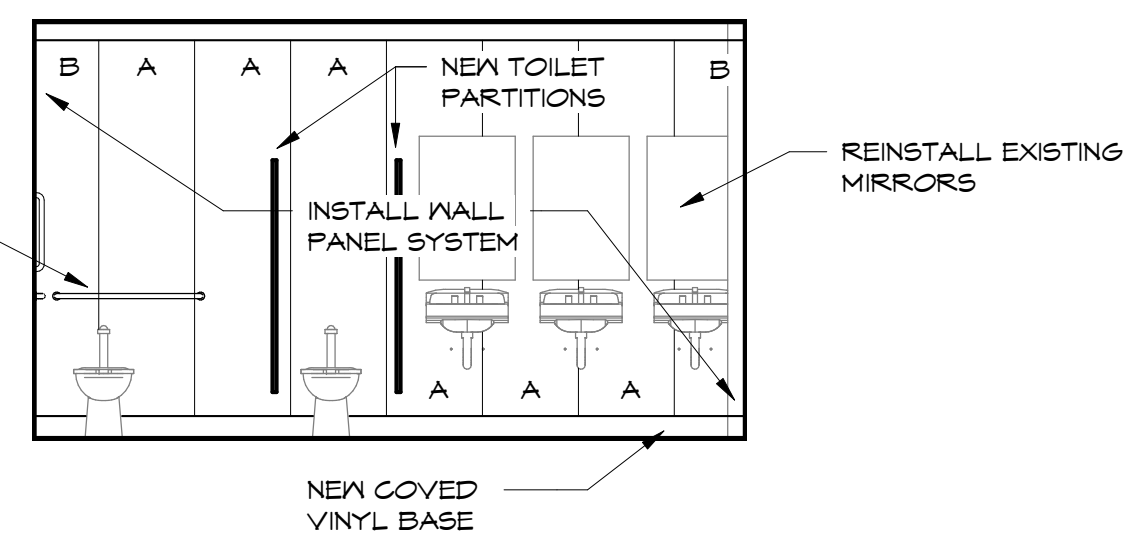
7 GIRLS TOILET EAST
A9.2 1/4" = 1'-0"



8 GIRLS TOILET NORTH
A9.2 1/4" = 1'-0"



9 GIRLS TOILET SOUTH
A9.2 1/4" = 1'-0"



10 GIRLS TOILET WEST
A9.2 1/4" = 1'-0"

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LONGVIEW, WA 98632
PHONE: 360-425-0000
E-MAIL: craig@collinsarchgroup.com



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7/29/2021

GIRL LOCKER
INTR ELEV

2021-29
SHEET NO.

A9.2